Town of Barnstable

Old King's Highway Historic District Committee

367 Main Street, Hyannis, MA 02601

P 508.862.4791 Web link

AGENDA

Wednesday, September 8, 2021, 6:30pm

The Old King's Highway Historic District Committee will be held by remote participation; see instructions below.

1. Real-time access: Applicants, their representatives and individuals required or entitled *(public comment)* to appear before the Old King's Highway Historic District Committee may participate through accessing the link or telephone number provided below:

Link: Join Zoom Meeting https://zoom.us/j/92786419897
Phone: 1- 888-475-4499 and entering Meeting ID: 927 8641 9897

2. Following the meeting, a recording will be televised via Channel 18 and may be viewed via the Channel 18 website at http://streaming85.townofbarnstable.us/CablecastPublicSite/

3. Documentary exhibits and/or visual presentations should be submitted in advance of the meeting to Kaitlyn.maldonado@town.barnstable.ma.us so that they may be displayed for remote public access viewing.

4. Members of the public wishing to review plans and applications prior to the meeting are instructed to contact Assistant Director, Kate Maldonado, by calling 508.862.4791 or by emailing Kaitlyn.maldonado@town.barnstable.ma.us

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To all persons deemed interested or affected by the Town of Barnstable's Old King's Highway Historic District Act under Section 9 of Chapter 470, Acts of 1973 as amended. You are hereby notified that a hearing will be held on the following applications:

CONTINUED APPLICATIONS

None at this time

APPLICATIONS

Fedje Revocable Living Trust c/o Elizabeth Apostola, 15 George Street, Barnstable, Map 319, Parcel 065, built 1920

Demolition of existing single-family dwelling and shed

Fedje Revocable Living Trust c/o Elizabeth Apostola, 15 George Street, Barnstable, Map 319, Parcel 065, built 1920

Construct a new single-family dwelling

Riley, William T TR c/o William T Riley 2015 FAM TR, 51 Holway Drive, West Barnstable, Map 136, Parcel 038, built 1987

Replace existing house windows with 6/1 from 12/12 grills, replace front door in same style, enlarge existing breezeway area and add a second floor to breezeway and garage

Ninety Bay View LLC c/o Brennick, Robert J and Meaghan A, 90 Bay View Road, Barnstable, Map 319, Parcel 031, built 2018
Install a perimeter fence and a privacy fence

Felix, Antone C III & Devaney, Lynn A, 443 Marstons Lane, Barnstable, Map 348, Parcel 033, built 1985
Removal of old vinyl siding and trim to be replaced with CertainTeed Cedar Impressions shingles and trim

Green, Eric D & Jessica Santiago, 1536 Hyannis Road, Barnstable, Map 298, Parcel 021/001, under construction
Construct a new garage with an attached pool cabana with bath

Pigott, William T & Prudence A, 95 Sunset Lane, Barnstable, Map 301, Parcel 027, built 1977
Demolition of existing single-family dwelling

Pigott, William T & Prudence A, 95 Sunset Lane, Barnstable, Map 301, Parcel 027, built 1977
Construct a new 5 bedroom 4.5 bath cape gambrel style home with an attached one-car garage

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MINOR MODIFICATION
None at this time

EXTENSIONS
None at this time

OTHER *Matters not reasonably anticipated by Chair*
None at this time

APPROVAL OF MINUTES
August 25, 2021

NEXT MEETING DATES
September 22, 2021 & October 13, 2021

Please Note**:** The list of matters, are those reasonably anticipated by the chair, which may be discussed at the meeting. Not all items listed may be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. It is possible that if it so votes, the Committee may go into executive session. The Committee may also act on items in an order other than they appear on this agenda. * Public files are available for viewing during normal business hours at the Old King's Highway Historic District office located at 200 Main Street, Hyannis, MA. Please coordinate with staff to arrange an appointment to view files.

Town of Barnstable, Planning & Development Department
Old King's Highway Historic District Committee
200 Main Street, Hyannis, Massachusetts 02601
Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS FOR **DEMOLITION OR RELOCATION** OF A BUILDING OR STRUCTURE

(including partial demolitions of buildings, structures; outbuildings, stonewalls, etc.)

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date: 8/17/21 Address of Proposed work: Assessors Map and lot # M319 P65

House # 15 Street GEORGE ST. Village: BARNSTABLE

Demolition of: ☑ house ☐ part of house ☐ Garage ☐ barn ☐ stable ☐ commercial ☐ stone wall ☐ other

Description of Proposed Work: DEMOLISH EXISTING DWELLING & SHED

If application is for removal to a different location, state where: _____

Please complete the following information:

Square footage of footprint of building(s) to be demolished: Building 1: 1684 2: 80

Square footage of total floor area of building(s) to be demolished: Building 1: 1684 2: 80

Owner:

Owner (please print): FEDJE REVOCABLE LIVING TRUST / C/O ELIZABETH APOSTOLA Tel #: _____

Owner's mailing address: 17 TOOKER PLACE, SPRINGFIELD, NJ 07081

Signature of Owner: Elizabeth Apostola

Note: All applications must be signed by the owner, or evidence of authority to act for the owner submitted

Contractor:

Agent/Contractor (please print): CHRIS CHILDS - PATRIOT BUILDERS Tel #: 508-430-0771

Address: 537 ROUTE 28 - HARWICH PORT, MA 02646

Signature of Contractor/Agent: _____

For Committee Use Only

This Certificate is hereby ***APPROVED/DENIED*** Date: _____

Committee Members Signatures: _____

Conditions of approval: _____

APPLICATION, CERTIFICATE OF APPROPRIATENESS FOR

DEMOLITION OR RELOCATION OF A BUILDING OR STRUCTURE

(including partial demolitions of buildings, structures; outbuildings, stonewalls, etc.)

Check list

- ☐ Application for Certificate of Appropriateness for Demolition or Removal, 4 copies
- ☐ Site plan, 4 copies,
- ☐ Photographs of all elevations of building(s), outbuilding(s) or stone walls being demolished.
- ☐ $120 application fee, made payable to the Town of Barnstable
- ☐ $19.84 Legal Ad fee, made payable to the Town of Barnstable

  Kindly note the filing fee and legal ad fee need to be on separate checks
- ☐ 1st Class Postage Stamps (contact OKH Admin for count) _____

Note: A separate Certificate of Appropriateness is required for a relocation of a building or structure within the Barnstable Old Kings Highway Historic District.

All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.

TOWN OF BARNSTABLE

OLD KING'S HIGHWAY HISTORIC DISTRICT COMMITTEE

STATEMENT OF UNDERSTANDING

As property owner/contractor/agent for the construction at:

319/65	15	GEORGE ST
Map/Parcel	Number	Street

BARNSTABLE

Village

Only minor changes may be approved by the Committee without a new application and a hearing. Minor changes include things like moving a single window or door or a minor change of color. All changes by amendment require the Committee's written approval.

A request for change must be submitted to the Committee in writing. Approval must be obtained before incorporating the change into the project.

For more than one revision to approved plans, a new application for a Certificate of Appropriateness must be applied for. Failure to comply with approved plans may result in the Building Department issuing a stop work order or denying an Occupancy Permit.

I HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

8/17/21
Date

Signed: _____
Applicant / Applicant's Representative

Signed: _____
Paul Richard, Chair, Old King's Highway

Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

1. Building construction: ☑ New ☐ Addition ☐ Alteration
2. Type of Building: ☐ House ☐ Garage/barn ☐ Shed ☐ Commercial ☐ Other
3. Exterior Painting, roof ☐ new roof ☐ color/material change, of trim, siding, window, door
4. Sign : ☐ New Sign ☐ Existing Sign ☐ Repainting Existing Sign
5. Structure: ☐ Fence ☐ Wall ☐ Flagpole ☐ Retaining wall ☐ Tennis court ☐ Other
6. Pool ☐ Swimming ☐ Other man-made pool ☐ Solar panels ☐ Other

Type or Print Legibly: Date 8/17/21

NOTE All applications must be signed by the current owner

Owner (print): FEDJE REVOCABLE TRUST C/O ELIZABETH APOSTOLA Telephone #:

Address of Proposed Work: 15 GEORGE ST Village BARNSTABLE Map Lot # M319 P65

Mailing Address (if different) 17 TOOKER PLACE, SPRINGFIELD NJ

Owner's Signature [signature]

Description of Proposed Work: Give particulars of work to be done: CONSTRUCT A NEW SINGLE FAMILY DWELLING

Agent or Contractor (print): CHRIS CHILDS - PATRIOT BUILDERS Telephone #: 508-430-0771

Address: 537 ROUTE 28 HARWICH PORT, MA 02646

Contractor/Agent' signature: [signature]

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ **Members signatures** _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) 12"

Siding Type: Clapboard ___ shingle ✓ other ___
Material: red cedar ___ white cedar ✓ other ___ Color: ___

Chimney Material: NONE Color: ___

Roof Material: (make & style) CERTAINTEED LANDMARK PRO Color: WEATHERED WOOD

Roof Pitch(s): (7/12 minimum) 10/12 *(specify on plans for new buildings, major additions)*

Window and door trim material: wood ___ other material, specify AZEK PVC

Size of cornerboards 1x5/1x6 size of casings (1 X 4 min.) 1x4 color WHITE

Rakes Ist member 1x8 2nd member 1x3 Depth of overhang 9"

Window: (make/model) ANDERSEN 400 material WOOD w/ VINYL CLAD color WHITE
(Provide window schedule on plan for new buildings, major additions)

Window grills *(please check all that apply_:*
true divided lights ___ exterior glued grills ___ grills between glass ✓ removable interior ___ None ___

Door style and make: THERMATRU material FIBERGLASS Color: BLACK

Garage Door, Style N/A Size of opening ___ Material ___ Color ___

Shutter Type/Style/Material: N/A Color: ___

Gutter Type/Material: ALUMINUM Color: WHITE

Deck material: wood ___ other material, specify AZEK Color: GRAY

Skylight, type/make/model/: N/A material ___ Color: ___ Size: ___

Sign size: N/A Type/Materials: ___ Color: ___

Fence Type (max 6') Style N/A material: ___ Color: ___

Retaining wall: Material: N/A

Lighting, freestanding ___ on building ✓ illuminating sign ___

OTHER INFORMATION: ___

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) ___ Print Name CHRIS CHILDS

Town of Barnstable, Old Kings Highway Historic District Committee

CHECKLIST -- CERTIFICATE OF APPROPRIATENESS

Please check the applicable categories; This check list must be completed and submitted with your application.

1. ALTERATIONS (new paint color, changes to siding, roof shingles, windows or door etc.)

- ☐ **Application for Certificate of Appropriateness**, 5 copies.
- ☐ **Spec Sheet**, 4 copies; brochures and color samples.
- ☐ Plans of building elevations/photographs, 5 copies, ONLY if there is a change to the location and size of the window (s) or door (s)

2. MINOR ADDITIONS e.g. decks, shed (over 120 sq. feet)

- ☐ **Application for Certificate of Appropriateness**, 5 copies.
- ☐ **Spec Sheet**, 5 copies; brochures and color samples.
- ☐ **Site Plan**, 5 copies, **ONLY** if there is a change to the building footprint.
  A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, UNLESS the porch, deck, pool, or shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted, see requirements as applicable, see 4. Site Plan, below.
- ☐ **Photographs** of all building elevation affected by any proposed alterations.
- ☐ **Plans:** 5 copies plus 1 at reduced scale to fit 8.5 x 11 or 11 x 17 paper
  Company brochure of manufacturer's shed **OR** to-scale sketch of affected structure or building elevations.

3. STRUCTURES, NEW/ALTERED (fences, new stonewalls or changes to, retaining walls, pools etc)

- ☑ **Application for Certificate of Appropriateness**
- ☑ **Spec Sheet**, brochures or diagram.
- ☑ **Site plan**, see Instructions 2. Site Plan, above.
- ☑ **Photographs** of any existing structure that will be affected by change.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING

- ☑ **Application for Certificate of Appropriateness** (5 copies).
- ☑ **Spec Sheet**, 5 copies, brochures and samples of colors.
- ☑ **Site Plan**, 5 copies, at an appropriate scale. & 5 copies of site plans at reduced scaled to fit 8.5"X11 or 11X17 paper

  Site Plans shall contain the following:
  - ☑ Name of applicant, street location, map and parcel.
  - ☑ Name of architect, engineer or surveyor; original stamp and signature; date of plan and revision dates.
  - ☑ North arrow, written and drawn scale.
  - ☑ Changes to existing grades shown with one-foot contours.
  - ☑ Proposed and existing footprint of the building and/or structures, and distance to lot lines.
  - ☑ Proposed driveway location.
  - ☒ NA Proposed limits of clearing for building(s), accessory structure(s), driveway and septic system.
  - ☒ NA Retaining walls or accessory structures (e.g. pool, tennis court, cabanas, barn, garage etc.)

  - ☑ **Building Elevations:**
    - 5 copies of plans at a scale of ¼" = 1 foot; a written and drawn scale.
    - 5 copies of plans at a reduced scale to fit 8.5"x 11 or 11 x 17 paper.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - *CONTINUED*

Plans shall include the following:

- ☑ Name of applicant, street location, map and parcel.
- ☑ Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- ☑ A written and bar drawn scale
- ☑ Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- ☑ Window schedule on plans.
- ☑ **Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:
  - Name of applicant, street address, assessor's map and parcel number.
  - Name address and telephone number of the plan preparer, plan date, & dates of revisions
  - ☑ The location of existing and proposed buildings and structures, and lot lines.
  - ☑ Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
  - ☑ N/A Existing buffer areas to remain.
  - ☑ N/A Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
  - ☑ The location, number, size and name of proposed new trees and plants.
  - ☑ Driveway, parking areas, walkways, and patios indicating materials to be used.
  - ☑ N/A Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
  - ☑ N/A All proposed exterior lighting and signs.
- ☐ **Sketch or photos of adjacent properties,** (1 copy only)

  A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.
- ☐ **Photographs of all sides of existing buildings** to remain, or being added to .

Please complete the following:

Existing building, foot print:
Building 1 _____ 1684 sq. ft. Building 2 80
Existing Building, gross floor area, including area of finished basement:
Building 1 _____ 1623 sq. ft. Building 2 _____
New building or addition, foot print:
Building 1 1760 sq. ft. Building 2 _____
New Building or addition, gross floor area, including area of finished basement:
Building 1 2656 sq. ft. Building 2 _____

5. SIGNS

- ☐ Diagram of sign, showing graphics, size, design and height of post, color and materials.
- ☐ Spec sheet.
- ☐ Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- ☐ Drawing of location of panels on house showing roof and panel dimensions.
- ☐ Site plan showing location of building on property. (Assessors map may be submitted)
- ☐ Height of solar panel above the roof.
- ☐ Color of panels
- ☐ Finish (matt or glossy)

7. FEES

- ☐ **Fees** according to schedule, made payable to the Town of Barnstable
- ☐ $19.84 made payable to the Barnstable Patriot for the required legal ad notification
- ☐ **First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) _____ Print CHRIS CHILDS

Date: 8/17/21 Tel. Phone no's: 508-430-0771

Email CCHILDS@PATRIOTBUILDERS.COM

NOTE: *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

ATTENDANCE AT MEETINGS: *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

APPEAL PERIOD APPROVED PLANS PLAN PICK UP

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Growth Management, Regulatory Division, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.
Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038
Conservation Division 508-862-4093 Health Division 508-862-4644

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 319065

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
319044	BROOKS, TERRENCE M & JANET L		P O BOX 573		BARNSTABLE	MA	02630
319064	LEVESQUE, JENNIFER & ROBERT M	%BUNNAGE, MARK & KATY	70 RIVERDALE ROAD		CONCORD	MA	01742
319065	FEDJE, RAYMOND N & BETTY TRS	FEDJE REVOCABLE LIVING TR	PO BOX 5785		LA QUINTA	CA	92248
319066	FRANK, DOMINICK M		PO BOX 414		BARNSTABLE	MA	02630
319078	HOLLAND, JOSEPH F & MICHELLE		180 TREMONT STREET		BRAINTREE	MA	02184-6319
319079	CATALDO, PETER F & MARILYN A		PO BOX 292		SHELDONVILLE	MA	02070
319139	DANAHY, KEVIN P & SONIA		50 TEABERRY LANE		BRAINTREE	MA	02184

Total Number of Abutters: 7

Report Generated On: 8/29/2021 9:38 PM

This list by itself does NOT constitute a "Certified List of Abutters" and is provided only as an aid to the determination of abutters. If a Certified Abutter List is required, you must contact the Assessing Division to have this list certified.

Property ID: 319044
BROOKS. TERRENCE M & JANET L
P O BOX 573
BARNSTABLE. MA 02630

Property ID: 319064
LEVESOUE. JENNIFER & ROBERT M
%BUNNAGE. MARK & KATY
70 RIVERDALE ROAD
CONCORD. MA 01742

Property ID: 319065
FEDJE. RAYMOND N & BETTY TRS
FEDJE REVOCABLE LIVING TR
PO BOX 5785
LA OUINTA. CA 92248

Property ID: 319066
FRANK. DOMINICK M
PO BOX 414
BARNSTABLE. MA 02630

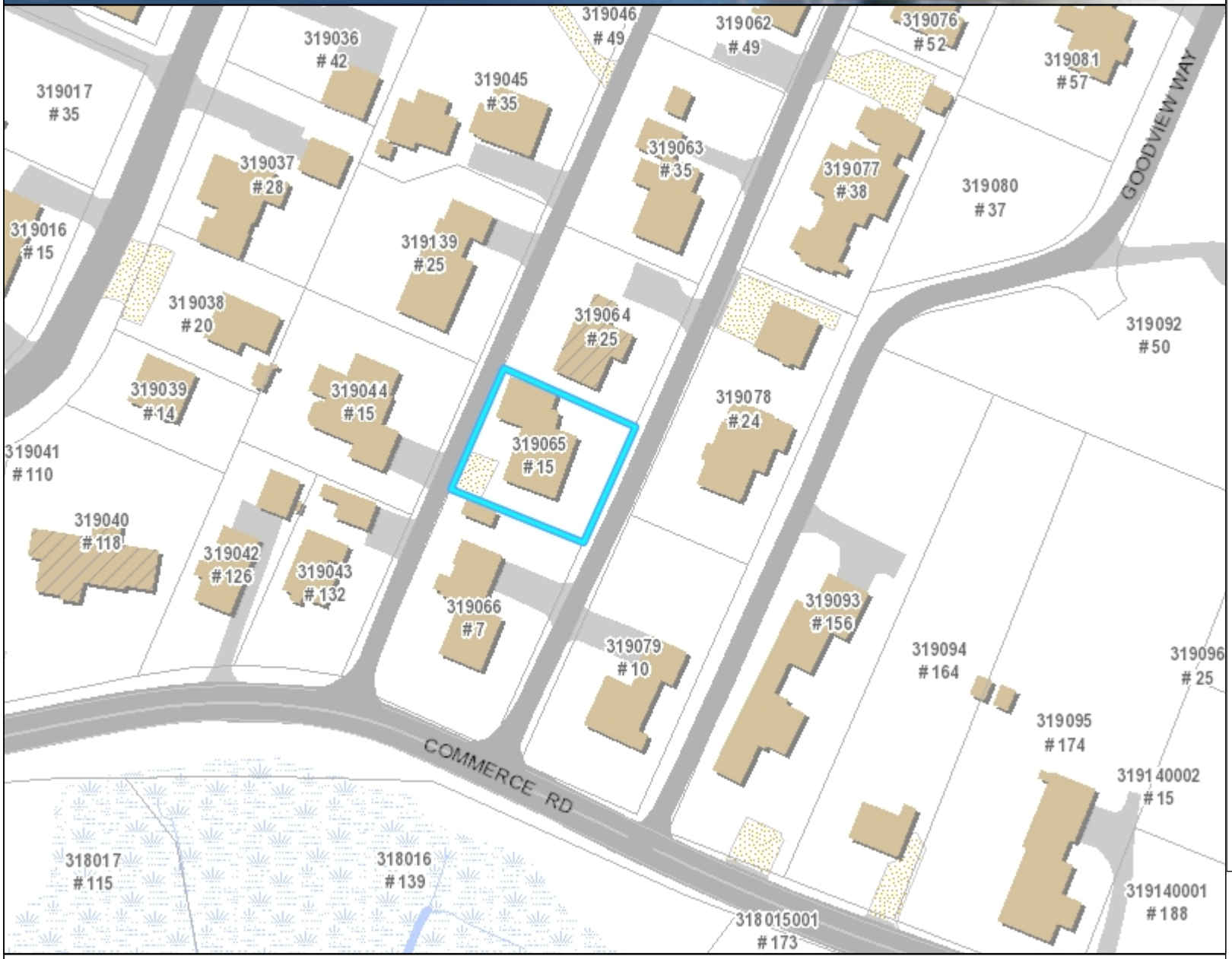
Property ID: 319078
HOLLAND. JOSEPH F & MICHELLE
180 TREMONT STREET
BRAINTREE. MA 02184-6319

Property ID: 319079
CATALDO. PETER F & MARILYN A
PO BOX 292
SHELDONVILLE. MA 02070

Property ID: 319139
DANAHY. KEVIN P & SONIA
50 TEABERRY LANE
BRAINTREE. MA 02184

TOWN OF BARNSTABLE

PROPERTY MAPS



Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - Bridge
  - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 9/1/2021

0 — 83 — 167 Feet

Approx. Scale: 1 inch = 83 feet

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

TOWN OF BARNSTABLE

PROPERTY MAPS

Legend

Road Names

Map printed on: 9/1/2021

0 42 83 Feet

Approx. Scale: 1 inch = 42 feet

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

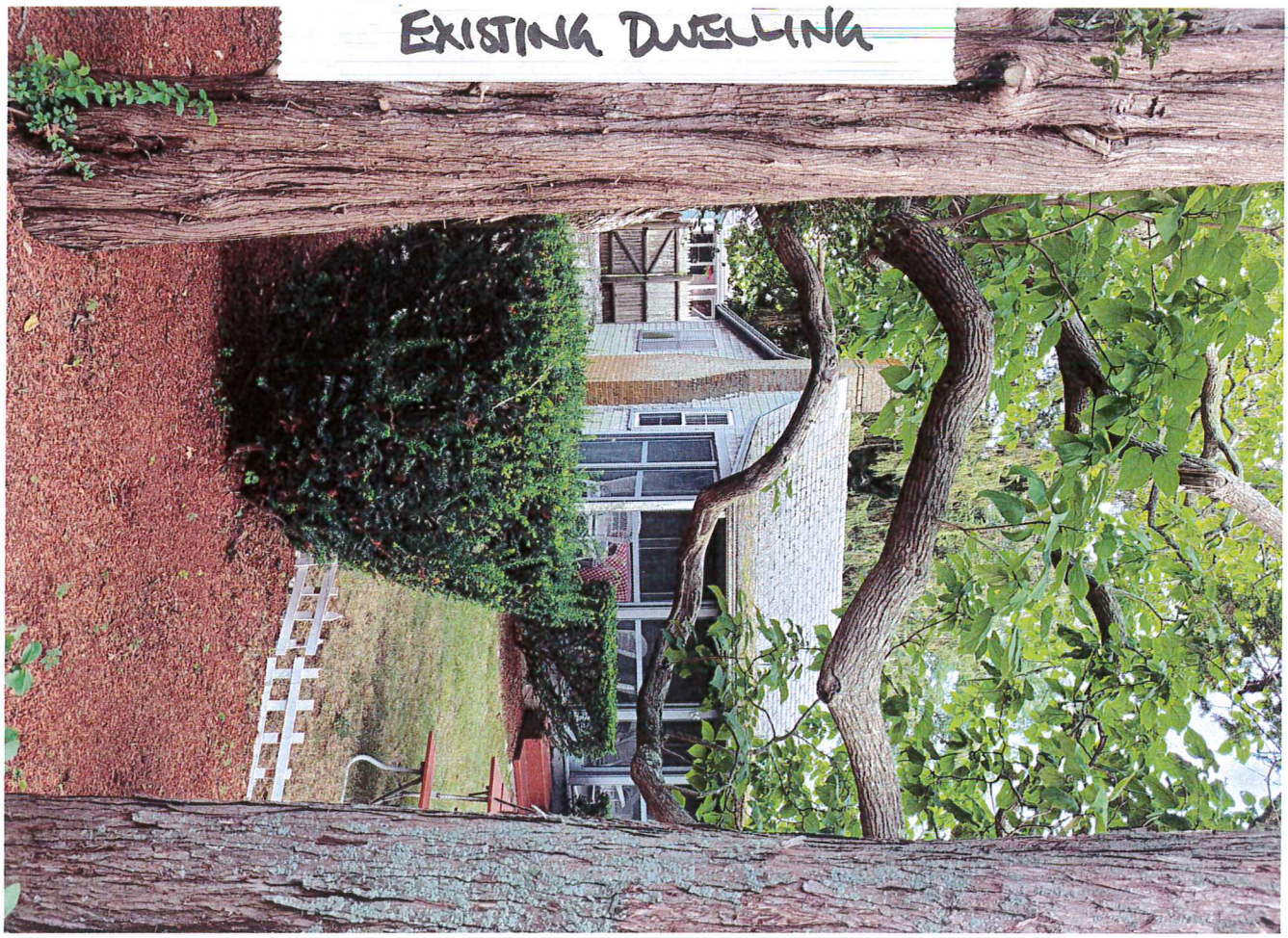
Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

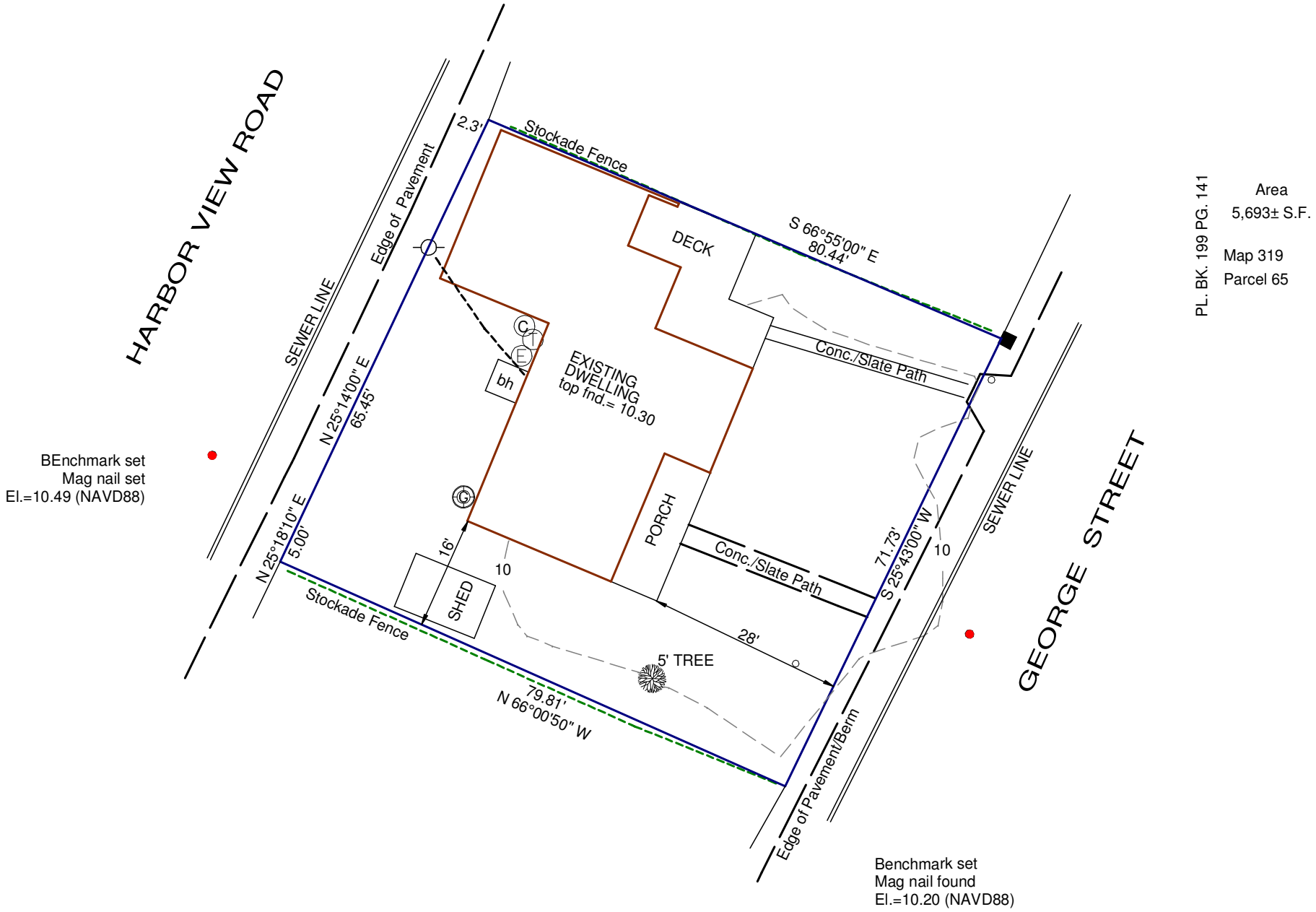
508-862-4624

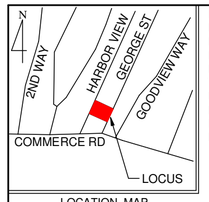
gis@town.barnstable.ma.us

15 GEORGE ST
EXISTING DWELLING



ABUTTERS OF
15 GEORGE ST

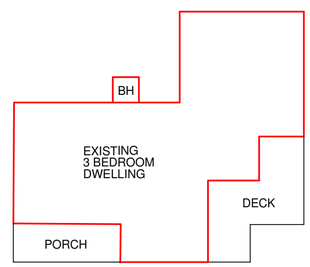

HARBOR VIEW ROAD
GEORGE STREET
SEWER LINE
Edge of Pavement
Stockade Fence
2.3'
S 66°55'00" E
80.44'
DECK
EXISTING
DWELLING
top fnd.= 10.30
bh
C
T
E
Conc./Slate Path
N 25°14'00" E
65.45'
N 25°18'10" E
5.00'
16'
SHED
10
PORCH
Conc./Slate Path
28'
71.73'
S 25°43'00" W
10
5' TREE
79.81'
N 66°00'50" W
Edge of Pavement/Berm
BEnchmark set
Mag nail set
El.=10.49 (NAVD88)
Benchmark set
Mag nail found
El.=10.20 (NAVD88)
PL. BK. 199 PG. 141
Area
5,693± S.F.
Map 319
Parcel 65



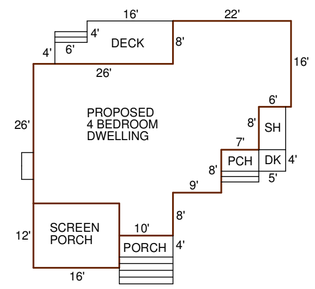
LOCATION MAP
PARCEL 65 (5,693 SF)

ASSESSORS MAP: 319 PARCEL: 65
PLAN BOOK: 199, PAGE: 141
FLOOD ZONE: AE (EL 12)

KEY:
EXISTING CONTOUR:
PROPOSED CONTOUR:
EXISTING SPOT ELEVATION: 25.5
PROPOSED SPOT ELEVATION: 25.5
TEST HOLE:
UTILITY POLE:
FENCE LINE:
HYDRANT:
RETAINING WALL:



EXISTING DWELLING = 1662 SF
SHED = 102 SF
TOTAL = 1764 SF

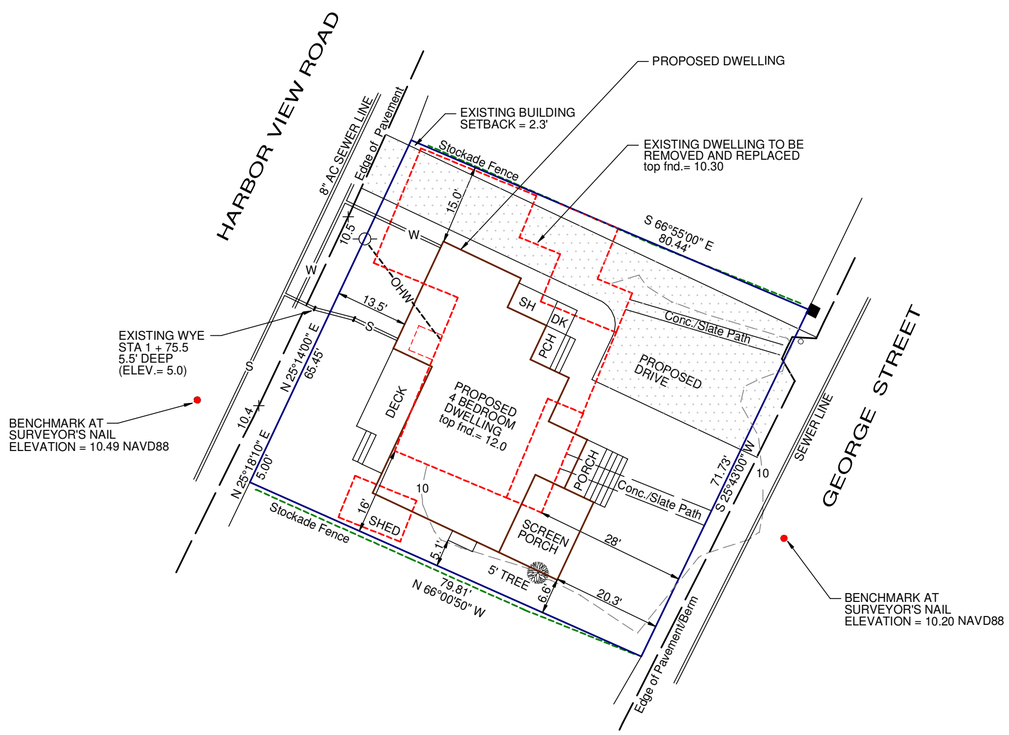


PROPOSED DWELLING = 1760 SF, (INCLUDING DECKS)

ZONING INFORMATION

	REQUIRED	EXISTING	PROPOSED
SETBACKS:			
HARBORVIEW RD.	20'	2'	13.5'
GEORGE ST.	20'	28'	20.3'
RIGHT SIDE	10'	0.5'	15'
LEFT SIDE	10'	1' (SHED) 16' (HOUSE)	6.6'
BUILDING COVERAGE	1,138 SF (MAX)	1,764 SF (31%)	1,760 SF (30.9%)
FAR	1,708 SF (MAX)	1,623 SF (28.9%)	2,656 SF (46.6%)
BUILDING HEIGHT	30'	17'	28'

N



NOTES:

1. VERTICAL DATUM: NAVD88
2. MUNICAPAL WATER IS AVAILABLE.
3. SCHEDULE 40 - 4" PVC PIPE TO BE USED THROUGHOUT SEWER CONNECTION.
4. PIPE PITCH = > 1/4" PER FOOT.
5. PROPOSED 4" SEWER LINE TO BE ENCASED IN 6" PIPE WHEN WITHIN 10' OF WATER MAIN.
6. CONTRACTOR TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION.
7. FIELD SURVEY PROVIDED BY TERRY A. WARNER, P.L.S., HARWICH, MA.
8. THIS PLAN REQUIRES THE REVIEW AND APPROVAL OF ONE OR MORE TOWN DEPARTMENTS AND IS SUBJECT TO CHANGE UNTIL SUCH TIME.

COMMONWEALTH OF MASSACHUSETTS
THOMAS J. McLELLAN
CIVIL
No. 36471
REGISTERED PROFESSIONAL ENGINEER

THOMAS J. McLELLAN, P.E.

SITE PLAN

LOCATION:

15 GEORGE ST., BARNSTABLE, MA

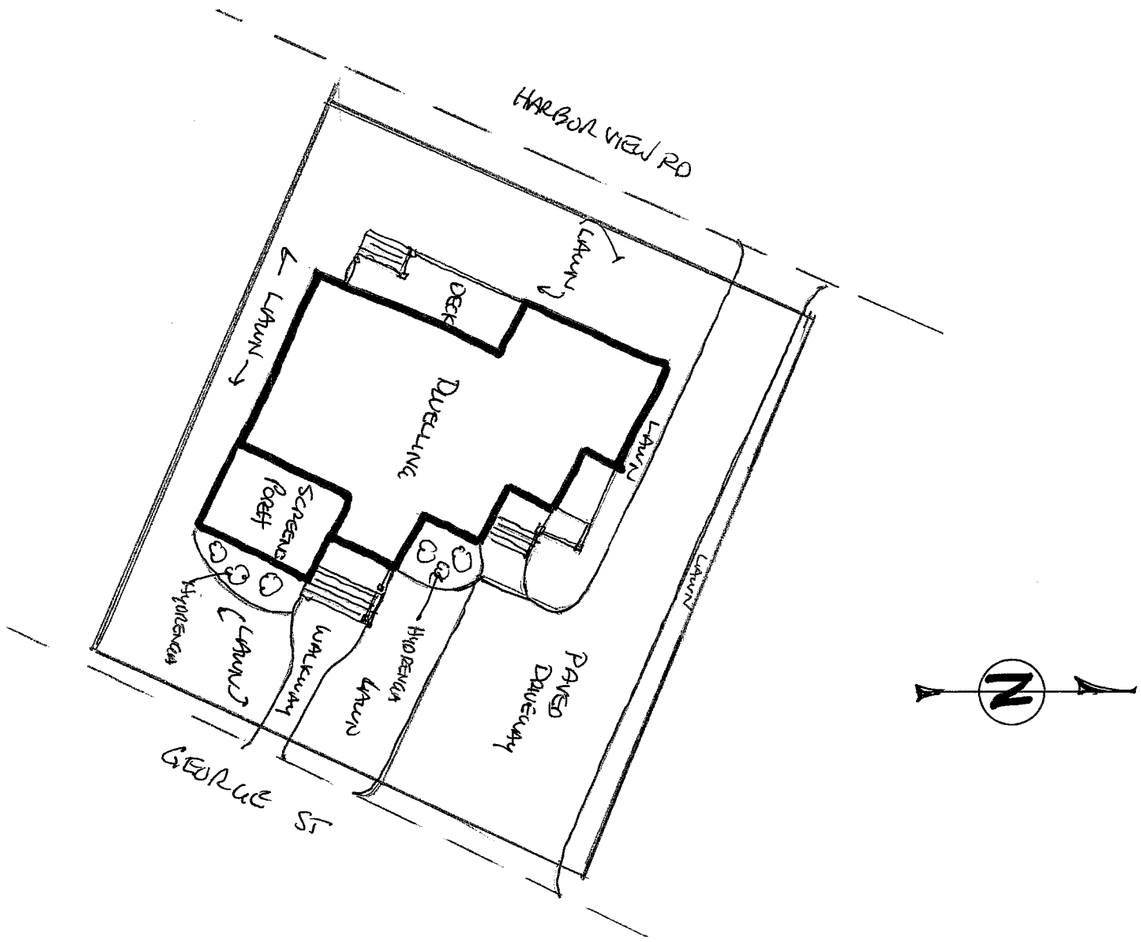
PREPARED FOR:

PATRIOT BUILDERS

DATE:8-3-21 SCALE: 1" = 20'

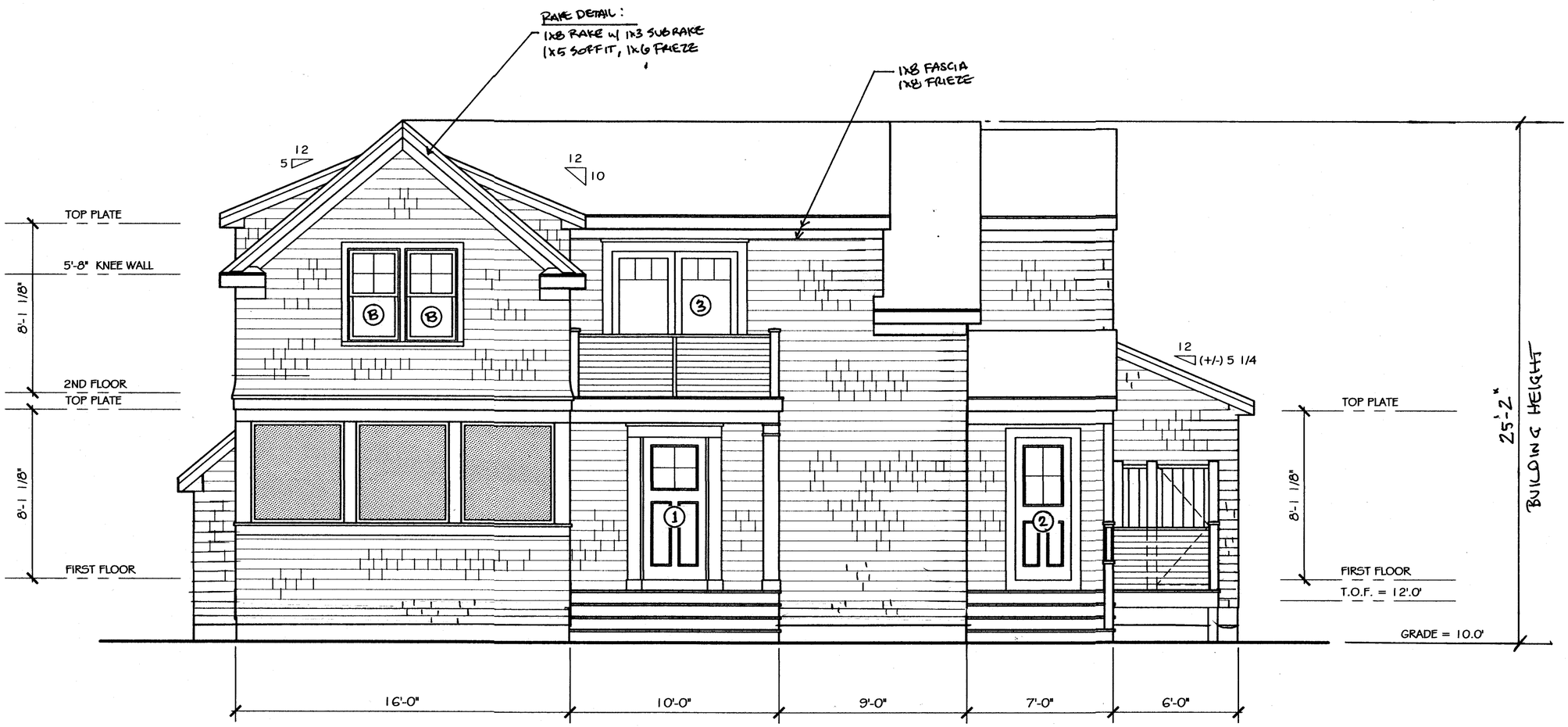
BASS RIVER ENGINEERING
P.O. BOX 1163, EAST DENNIS, MA 02641
508-364-9048

M20-64



15 GEORGE STREET, BARNSTABLE, MA

REVISIONS	DATE: 8-17-21	SCALE: 1" = 20'-0"	DRAWN:	DRAWING NO.
	Patriot Builders 537 Route 28 - Harwich Port, MA 20646 Phone (508)-430-0771 Fax (508)-432-7789			L1.0
	SHEET TITLE: LANDSCAPE PLAN			



PROPOSED

FRONT ELEVATION

1/4" = 1'-0"

ANDERSEN WINDOW SCHEDULE

KEY	UNIT	TYPE	ROUGH OPENING W x H	REMARKS
A	TW2446	DOUBLE HUNG	2'-6 1/8" x 4'-8 7/8"	WHITE VYNL CLAD
B	TW2442	DOUBLE HUNG	2'-6 1/8" x 4'-4 7/8"	WHITE VYNL CLAD
C	TW3042	DOUBLE HUNG	3'-2 1/8" x 4'-4 7/8"	WHITE VYNL CLAD
D	TW24310	DOUBLE HUNG	2'-6 1/8" x 4'-0 7/8"	WHITE VYNL CLAD
E	C235	CASEMENT	4'-0 1/2" x 3'-5 3/8"	WHITE VYNL CLAD
F	AW251	AWNING	2'-4 7/8" x 2'-4 7/8"	WHITE VYNL CLAD
G	TW2042	DOUBLE HUNG	2'-2 1/8" x 4'-4 7/8"	WHITE VYNL CLAD

EXTERIOR DOOR SCHEDULE

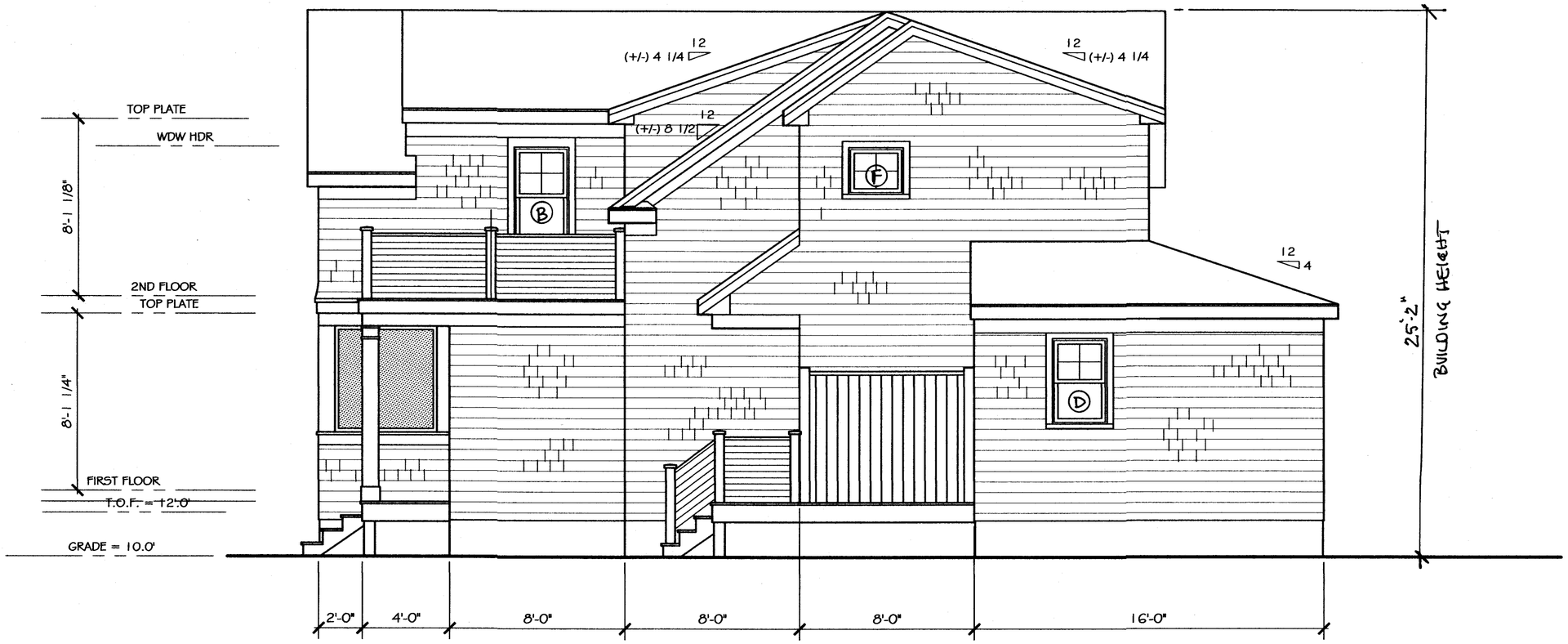
KEY	UNIT	TYPE	ROUGH OPENING W x H	REMARKS
1	S608	HINGED FBGL.	3'-2 1/2" X 6'-11"	6 LITE / 2 PANEL
2	S262	HINGED FBGL.	3'-2 1/2" X 6'-11"	9 LITE / 2 PANEL
3	FWG6061 1	SLIDER	6-0" x 6'-11"	WHITE VINYL CLAD

8 4 2 0

C.S.L 072814

15 GEORGE STREET, BARNSTABLE, MA

REVISIONS	DATE: 07-19-21	SCALE: 1/4"=1'-0"	DRAWN: TGD	DRAWING NO.
	Patriot Builders 537 Route 28 - Harwich Port, MA 20646 Phone (508)-430-0771 Fax (508)-432-7789			A1 - 7
	SHEET TITLE: FRONT ELEVATION			



PROPOSED

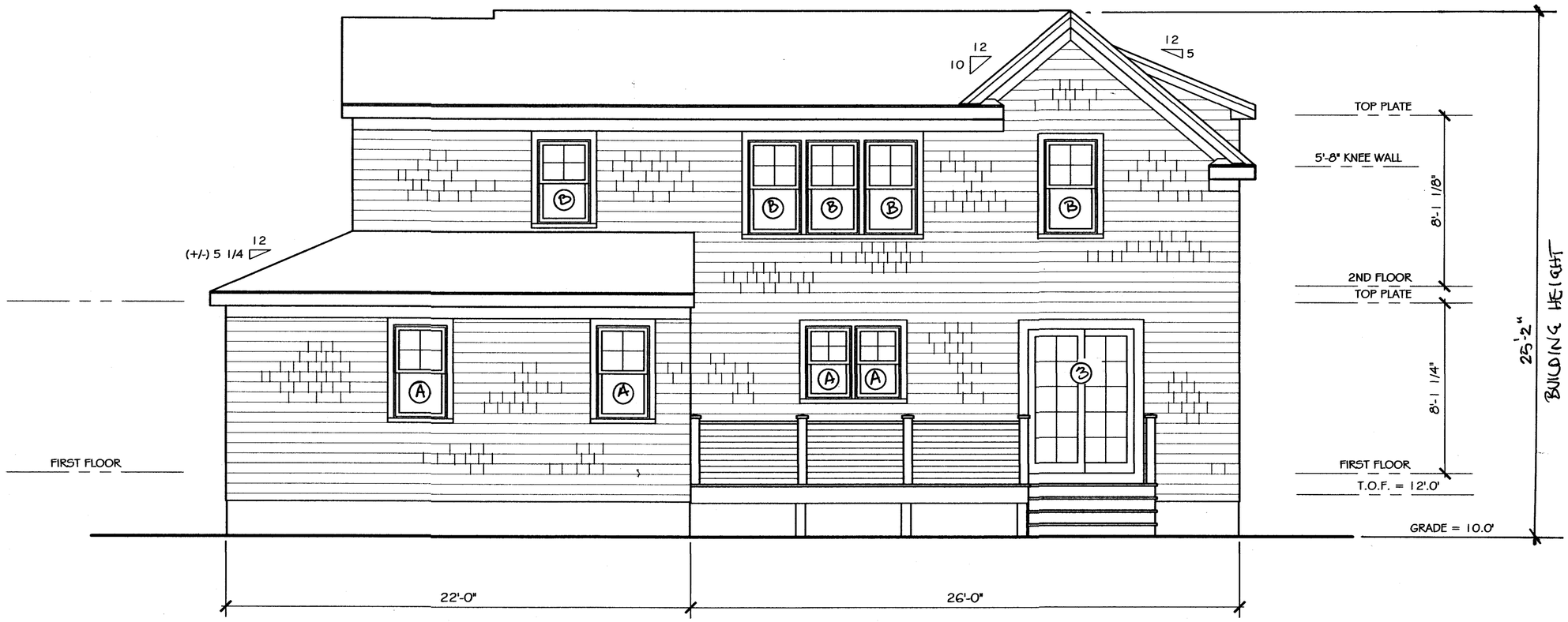
RIGHT SIDE ELEVATION

1/4" = 1'-0"

8 4 2 0

C.S. 072814

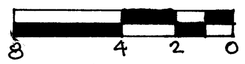
15 GEORGE STREET, BARNSTABLE, MA				
REVISIONS	DATE: 07-19-21	SCALE: 1/4"=1'-0"	DRAWN: TGD	DRAWING NO.
	Patriot Builders 537 Route 28 - Harwich Port, MA 20646 Phone (508)-430-0771 Fax (508)-432-7789			A2 - 7
	SHEET TITLE: RIGHT SIDE ELEVATION			



PROPOSED

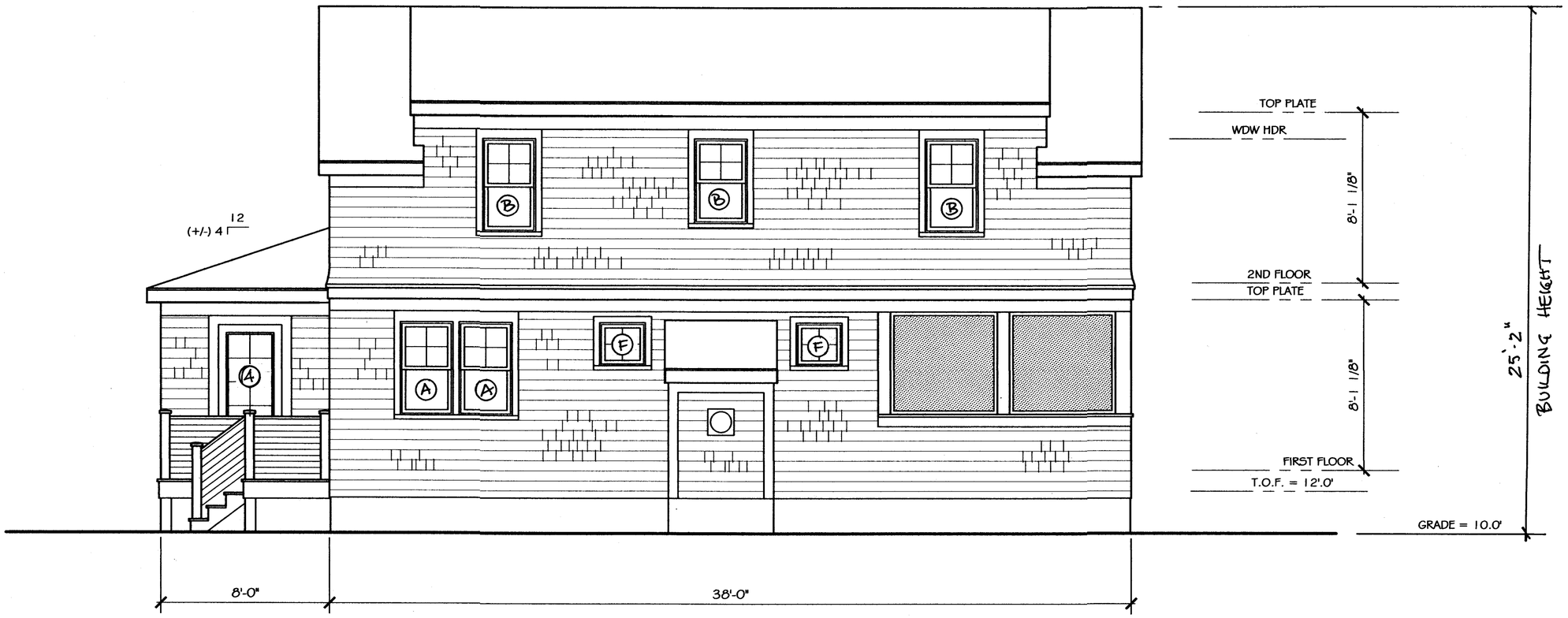
REAR ELEVATION

1/4" = 1'-0"



C.S.L.072814

15 GEORGE STREET, BARNSTABLE, MA				
REVISIONS	DATE: 07-19-21	SCALE: 1/4"=1'-0"	DRAWN: TGD	DRAWING NO.
	Patriot Builders 537 Route 28 - Harwich Port, MA 20646 Phone (508)-430-0771 Fax (508)-432-7789			A3 - 7
	SHEET TITLE: REAR ELEVATION			



PROPOSED

LEFT SIDE ELEVATION

1/4" = 1'-0"

8 4 2 0

C.S.C. 072814

15 GEORGE STREET, BARNSTABLE, MA				
REVISIONS	DATE: 07-19-21	SCALE: 1/4"=1'-0"	DRAWN: TGD	DRAWING NO.
	Patriot Builders 537 Route 28 - Harwich Port, MA 20646 Phone (508)-430-0771 Fax (508)-432-7789			A4 - 7
	SHEET TITLE: LEFT SIDE ELEVATION			

Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml **kaitlyn.maldonado@town.barnstable.ma.us**

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

1. Building construction: ☒ New ☒ Addition ☒ Alteration
2. Type of Building: ☒ House ☒ Garage/barn ☐ Shed ☐ Commercial ☐ Other
3. Exterior Painting, roof ☐ new roof ☐ color/material change, of trim, siding, window, door
4. Sign : ☐ New Sign ☐ Existing Sign ☐ Repainting Existing Sign
5. Structure: ☐ Fence ☐ Wall ☐ Flagpole ☐ Retaining wall ☐ Tennis court ☐ Other
6. Pool ☐ Swimming ☐ Other man-made pool ☐ Solar panels ☐ Other

Type or Print Legibly: Date 8/12/2021

NOTE All applications must be signed by the current owner

Owner (print): William T. Riley Telephone #:

Address of Proposed Work: 51 Holway Drive Village W. Barnstable Map Lot # 136/038

Mailing Address (if different) 7 Arbor Circle, Natick, MA 01760

X **Owner's Signature**

Description of Proposed Work: Give particulars of work to be done: Replace existing house windows with 6/1 from 12/12 grills, replace front door in same style, enlarge existing breezeway area and add a second floor to breezeway and garage as shown in attached plans.

Agent or Contractor (print): R.W. Anderson & Son's, Inc. Telephone #: 508-888-5720

Address: 6 Willow Street, Sandwich, MA 02563

Contractor/Agent' signature:

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date **Members signatures**

Conditions of approval

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Concrete

Siding Type: Clapboard X shingle X other ____
Material: red cedar X white cedar X other _____ Color: to match existing

Chimney Material: White Cedar Shingle Color: Natural shingle, white trim and black metal cap.

Roof Material: (make & style) Asphalt Color: To match existing

Roof Pitch(s): (7/12 minimum) Upper Gambrel 5.5/12 ~~Gambrel 20/12~~ *(specify on plans for new buildings, major additions)*

Window and door trim material: wood _____ other material, specify PVC

Size of cornerboards 1x6 size of casings (1 X 4 min.) 1x4 color White

Rakes Ist member 1x8 2nd member 1x3 Depth of overhang 8"

Window: (make/model) Andersen material Fiberglass color White
(Provide window schedule on plan for new buildings, major additions)

Window grills *(please check all that apply_:*
true divided lights X exterior glued grills ___ grills between glass ___ removable interior___ None _____

Door style and make: 3'0"x6'8" Therma Tru ~~with 3 Lite Transom~~ material Fiberglass Color: Black

Garage Door, Style Fimble Presidential Carriage House Door Size of opening 9'0"x7'6" Material PVC Color White

Shutter Type/Style/Material: None Color: _____

Gutter Type/Material: Aluminum Color: White

Deck material: wood _____ other material, specify Azek Color: Slate Gray

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) _____ Print Name Richard W. Anderson

Town of Barnstable, Old Kings Highway Historic District Committee

CHECKLIST -- CERTIFICATE OF APPROPRIATENESS

Please check the applicable categories; This check list must be completed and submitted with your application.

1. ALTERATIONS (new paint color, changes to siding, roof shingles, windows or door etc.)

- ☐ **Application for Certificate of Appropriateness**, 5 copies.
- ☐ **Spec Sheet**, 4 copies; brochures and color samples.
- ☐ Plans of building elevations/photographs, 5 copies, ONLY if there is a change to the location and size of the window (s) or door (s)

2. MINOR ADDITIONS e.g. decks, shed (over 120 sq. feet)

- ☐ **Application for Certificate of Appropriateness**, 5 copies.
- ☐ **Spec Sheet**, 5 copies; brochures and color samples.
- ☐ **Site Plan**, 5 copies, **ONLY** if there is a change to the building footprint.
  A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, UNLESS the porch, deck, pool, or shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted, see requirements as applicable, see 4. Site Plan, below.
- ☐ **Photographs** of all building elevation affected by any proposed alterations.
- ☐ **Plans:** 5 copies plus 1 at reduced scale to fit 8.5 x 11 or 11 x 17 paper
  Company brochure of manufacturer's shed **OR** to-scale sketch of affected structure or building elevations.

3. STRUCTURES, NEW/ALTERED (fences, new stonewalls or changes to, retaining walls, pools etc)

- ☐ **Application for Certificate of Appropriateness**
- ☐ **Spec Sheet**, brochures or diagram.
- ☐ **Site plan**, see Instructions 2. Site Plan, above.
- ☐ **Photographs** of any existing structure that will be affected by change.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING

- ☒ **Application for Certificate of Appropriateness** (5 copies).
- ☒ **Spec Sheet**, 5 copies, brochures and samples of colors.
- ☒ **Site Plan**, 5 copies, at an appropriate scale. & 5 copies of site plans at reduced scaled to fit 8.5"X11 or 11X17 paper

  Site Plans shall contain the following:
  - ☒ Name of applicant, street location, map and parcel.
  - ☒ Name of architect, engineer or surveyor; original stamp and signature; date of plan and revision dates.
  - ☒ North arrow, written and drawn scale.
  - ☒ Changes to existing grades shown with one-foot contours.
  - ☒ Proposed and existing footprint of the building and/or structures, and distance to lot lines.
  - ☐ Proposed driveway location.
  - ☐ Proposed limits of clearing for building(s), accessory structure(s), driveway and septic system.
  - ☐ Retaining walls or accessory structures (e.g. pool, tennis court, cabanas, barn, garage etc.)

  ☒ **Building Elevations:**
    - o 5 copies of plans at a scale of ¼" = 1 foot; a written and drawn scale.
    - o 5 copies of plans at a reduced scale to fit 8.5"x 11 or 11 x 17 paper.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - *CONTINUED*

Plans shall include the following:

- [X] Name of applicant, street location, map and parcel.
- [X] Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- [X] A written and bar drawn scale
- [X] Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- [X] Window schedule on plans.

- [ ] **Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:
  - o Name of applicant, street address, assessor's map and parcel number.

    Name address and telephone number of the plan preparer, plan date, & dates of revisions
  - [ ] The location of existing and proposed buildings and structures, and lot lines.
  - [ ] Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
  - [ ] Existing buffer areas to remain.
  - [ ] Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
  - [ ] The location, number, size and name of proposed new trees and plants.
  - [ ] Driveway, parking areas, walkways, and patios indicating materials to be used.
  - [ ] Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
  - [ ] All proposed exterior lighting and signs.

- [ ] **Sketch or photos of adjacent properties**, (1 copy only)

  A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.

- [ ] **Photographs of all sides of existing buildings** to remain, or being added to .

Please complete the following:

Existing building, foot print:
Building 1 _____ sq. ft. Building 2 _____
Existing Building, gross floor area, including area of finished basement:
Building 1 _____ sq. ft. Building 2 _____
New building or addition, foot print:
Building 1 _____ sq. ft. Building 2 _____
New Building or addition, gross floor area, including area of finished basement:
Building 1 _____ sq. ft. Building 2 _____

5. SIGNS

- ☐ Diagram of sign, showing graphics, size, design and height of post, color and materials.
- ☐ Spec sheet.
- ☐ Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- ☐ Drawing of location of panels on house showing roof and panel dimensions.
- ☐ Site plan showing location of building on property. (Assessors map may be submitted)
- ☐ Height of solar panel above the roof.
- ☐ Color of panels
- ☐ Finish (matt or glossy)

7. FEES

- ☒ **Fees according to the Fee Schedule, made payable to the Town of Barnstable.**
- ☒ **$19.84 made payable to the Town of Barnstable for the required Legal Ad notification.**
- ☒ **First Class Postage Stamps for abutter notification. Please coordinate with Kate Maldonado to confirm the quantity of stamps required. Kate's email is: kaitlyn.maldonado@town.barnstable.ma.us**

SIGNED (plan preparer) _____ Print Richard W. Anderson

Date: 8/12/2021 Tel. Phone no's: 508-888-5720

Email Rick@RWAnderson.com

NOTE: *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

ATTENDANCE AT MEETINGS: *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

APPEAL PERIOD **APPROVED PLANS** **PLAN PICK UP**

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Growth Management, Regulatory Division, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.
Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038
Conservation Division 508-862-4093 Health Division 508-862-4644

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 136038

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
136032	HOFFSTEIN, RICHARD A & BEVERLY W		PO BOX 814		WEST BARNSTABLE	MA	02668-0814
136033	O'NEILL, THOMAS E & MARGARET M		PO BOX 447		WEST BARNSTABLE	MA	02668-0447
136034	MANNING, JUSTIN J & LYNN M		74 HOLWAY DRIVE		WEST BARNSTABLE	MA	02668
136037	FLOYD, MAUREEN O & RICHARD B TRS	MAUREN O FLOYD 2010 TRUST	88 HILLIARD'S HAYWAY		WEST BARNSTABLE	MA	02668
136038	RILEY, WILLIAM T TR	WILLIAM T RILEY 2015 FAM TR	51 HOLWAY DRIVE		WEST BARNSTABLE	MA	02668
136039	HAGERTY, JAMES P & LYNDA J		31 HOLWAY DRIVE		WEST BARNSTABLE	MA	02668
136045	YOUNG, CHERYL A & CARSWELL, ROBERT I		265 RIVERSIDE DRIVE 5C		NEW YORK	NY	10025

Total Number of Abutters: 7

Report Generated On: 8/11/2021 12:58 PM

This list by itself does NOT constitute a "Certified List of Abutters" and is provided only as an aid to the determination of abutters. If a Certified Abutter List is required, you must contact the Assessing Division to have this list certified.

Property ID: 136032
HOFFSTEIN. RICHARD A & BEVERLY W
PO BOX 814
WEST BARNSTABLE. MA

Property ID: 136033
O'NEILL. THOMAS E & MARGARET M
PO BOX 447
WEST BARNSTABLE. MA

Property ID: 136034
MANNING. JUSTIN J & LYNN M
74 HOLWAY DRIVE
WEST BARNSTABLE. MA 02668

Property ID: 136037
FLOYD. MAUREEN O & RICHARD B TRS
MAUREN O FLOYD 2010 TRUST
88 HILLIARD'S HAYWAY
WEST BARNSTABLE. MA 02668

Property ID: 136038
RILEY. WILLIAM T TR
WILLIAM T RILEY 2015 FAM TR
51 HOLWAY DRIVE
WEST BARNSTABLE. MA 02668

Property ID: 136039
HAGERTY. JAMES P & LYNDA J
31 HOLWAY DRIVE
WEST BARNSTABLE. MA 02668

Property ID: 136045
YOUNG. CHERYL A & CARSWELL. ROBERT I
265 RIVERSIDE DRIVE 5C
NEW YORK. NY 10025

Town of Barnstable
Building Department Services
Brian Florence, CBO
Building Commissioner
200 Main Street, Hyannis, MA 02601
www.town.barnstable.ma.us

Office: 508-862-4038 Fax: 508-790-6230

Property Owner Must Complete and Sign This Section <u>If Using A Builder</u>

I, William T. Riley, as Owner of the subject property

hereby authorize R.W. Anderson & Son's, Inc. to act on my behalf,

in all matters relative to work authorized by this building permit application for:

51 Holway Drive, West Barnstable, MA
(Address of Job)

**Pool fences and alarms are the responsibility of the applicant. Pools are not to be filled or utilized before fence is installed and all final inspections are performed and accepted.

Signature of Owner

Signature of Applicant

William T. Riley
Print Name

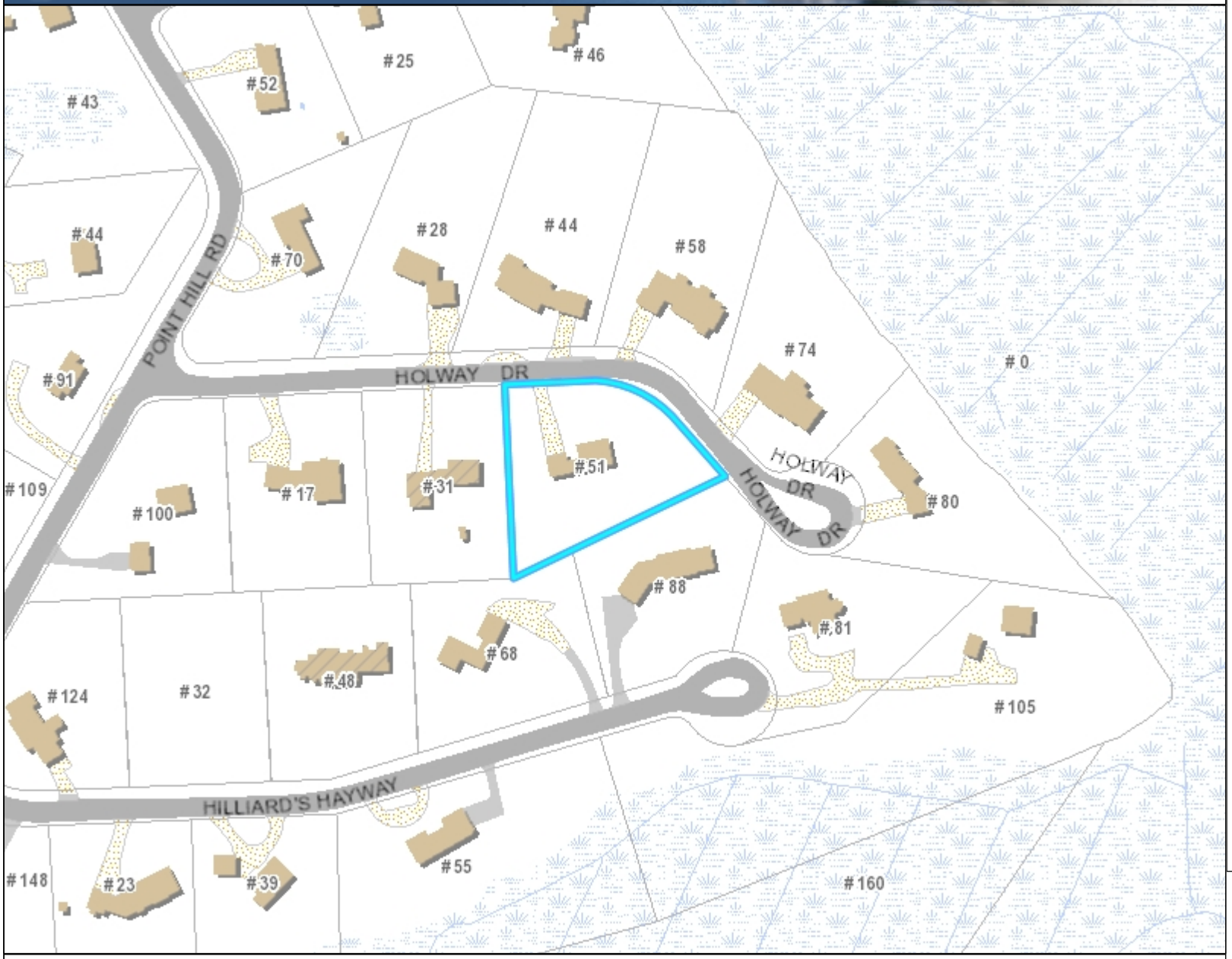
Richard W. Anderson
Print Name

8/12/2021
Date

Q:FORMS:OWNERPERMISSIONPOOLS
Rev: 08/16/17

TOWN OF BARNSTABLE

PROPERTY MAPS



Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - Bridge
  - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 9/1/2021

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

TOWN OF BARNSTABLE

PROPERTY MAPS

Legend

Road Names

Map printed on: 9/1/2021

0 83 167 Feet

Approx. Scale: 1 inch = 83 feet

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

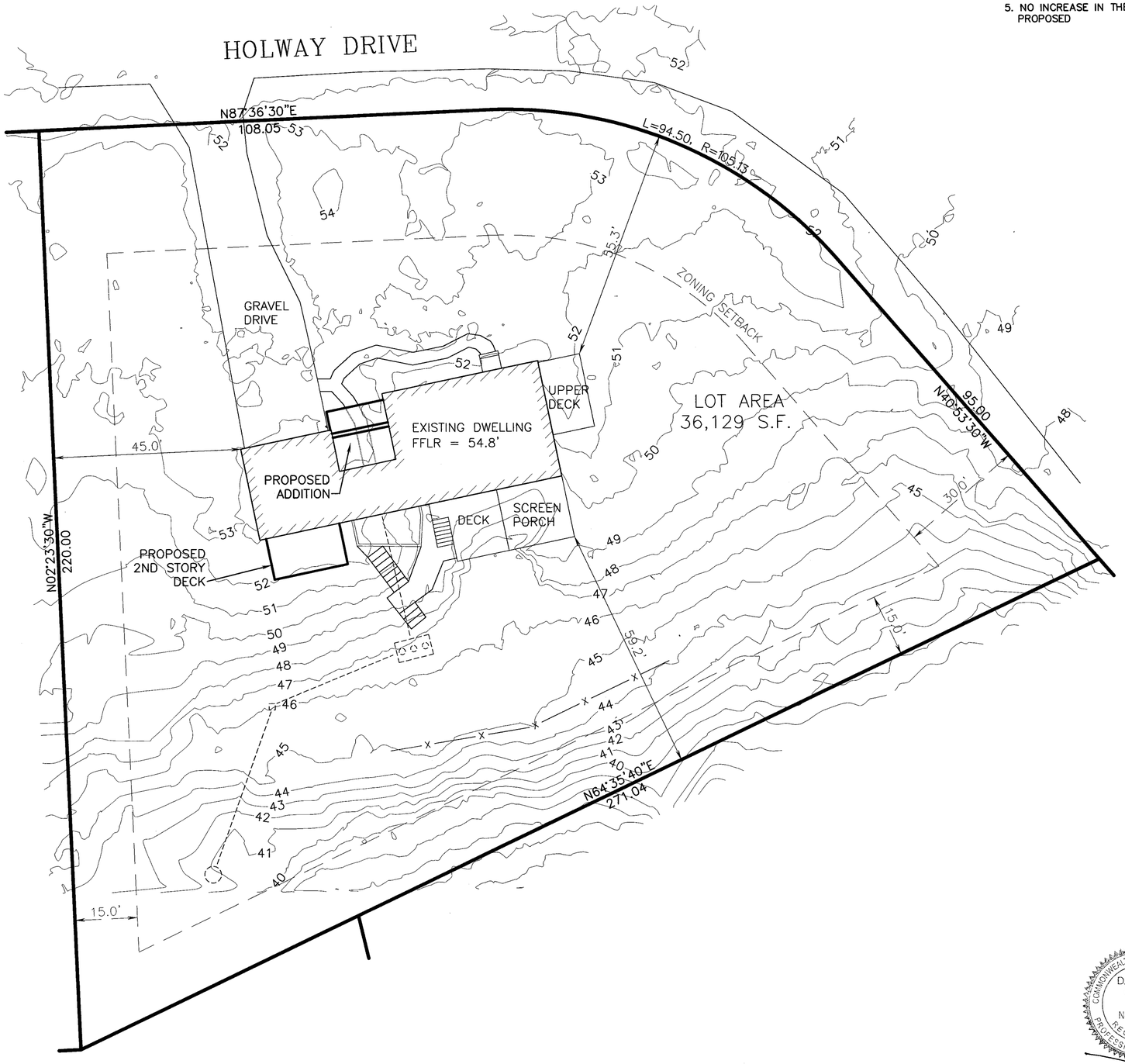
Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Google

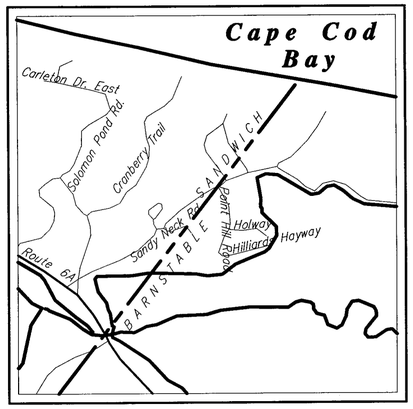


Scale: 1"= 20'

0 10 20 30 40 50 FEET

NOTES

1. DATUM IS NAVD88
2. THIS PLAN IS FOR PROPOSED WORK ONLY AND NOT TO BE USED FOR LOT LINE STAKING OR ANY OTHER PURPOSE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING DIGSAFE (1-888-344-7233) AND VERIFYING THE LOCATION OF ALL UNDERGROUND & OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.
4. EXISTING SEPTIC LOCATION PER TIE-CARD ON FILE WITH TOWN.
5. NO INCREASE IN THE NUMBER OF BEDROOMS IS PROPOSED



LOCUS MAP

SCALE 1"=2000'±

ASSESSORS MAP 136 PARCEL 38

LOCUS IS WITHIN FEMA FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON COMMUNITY PANEL #25001C0532J DATED 7/16/2014

ZONING SUMMARY

ZONING DISTRICT: RF DISTRICT

MIN. LOT SIZE	87,120 S.F.
MIN. LOT FRONTAGE	150'
MIN. FRONT SETBACK	30'
MIN. SIDE SETBACK	15'
MIN. REAR SETBACK	15'
MAX. BUILDING HEIGHT	30'

SITE IS LOCATED WITHIN THE RESOURCE PROTECTION OVERLAY DISTRICT

SITE IS LOCATED WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT

SITE PLAN

OF

51 HOLWAY DRIVE
WEST BARNSTABLE, MA

PREPARED FOR

ANDERSON-RILEY

DATE: JUNE 16, 2021

COMMONWEALTH OF MASSACHUSETTS
DANIEL A. OJALA
CIVIL
No. 46502
REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH OF MASSACHUSETTS
DANIEL A. OJALA
No. 40980
PROFESSIONAL LAND SURVEYOR

6-16-21
DATE

DANIEL A. OJALA, P.E., P.L.S.

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fax 508-362-9880
downcape.com ©

down cape engineering, inc.
civil engineers
land surveyors

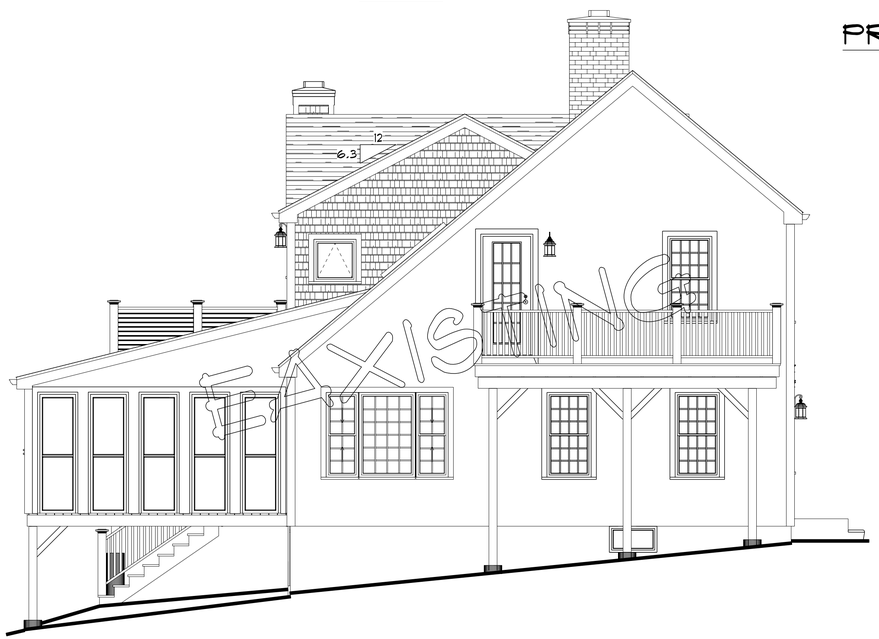
939 Main Street (Rte 6A)
YARMOUTHPORT MA 02675

21-098 ANDERSON-RILEY.DWG

DCE #21-098

PROPOSED FRONT ELEVATION

PROPOSED RIGHT ELEVATION



PROPOSED
LEFT ELEVATION

WINDOW & DOOR SCHEDULE

ID	QTY	MANUF.	MODEL #	NOTES
A	8	ANDERSEN	TW2446	
B	4	ANDERSEN	CXW135	
C	1	ANDERSEN	RE-USE EXISTING C155-3	
D	1	ANDERSEN	TW2432	
E	3	ANDERSEN	CW13	
F	2	ANDERSEN	TW2042	
G	1	ANDERSEN	AFCP3055	
H	2	ANDERSEN	AW251	
I	2	ANDERSEN	TW2462	
J	1	ANDERSEN	FWG6080R	
#1	1			
#2	1			

NOTE: VERIFY QTY, MANUF. AND MODEL BEFORE ORDERING.

PROPOSED REAR ELEVATION

BUILDER	JOB ADDRESS	DESIGN		DATE	REVISION	DRAWN BY	PAGE	SCALE
R.W. ANDERSON & SONS INC. CUSTOM BUILDERS	51 HOLWAY DRIVE WEST BARNSTABLE, MA.	PROPOSED LOFT AND PLAY AREA OVER EXISTING MUDROOM AND GARAGE.	WWW.JBHOMEDESIGNS.COM	5-27-21	#	JB	# 1 OF 5	1/4"=1'-0"

NOTE (1) PURCHASE OF DRAWINGS LEAVES PURCHASER RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES. JB DESIGNS MAY NOT BE HELD RESPONSIBLE FOR SITE CONDITIONS OR FOR THE USE OF THESE DRAWINGS DURING CONSTRUCTION. (2) EXACT SIZE AND REINFORCEMENT OF ALL CONCRETE FOOTINGS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES OF CONSTRUCTION. VERIFY DESIGN WITH LOCAL ENGINEER. (3) ALL FOOTINGS SHALL EXTEND BELOW FROSTLINE VERIFY DEPTH. (4) VERIFY STRUCTURAL ELEMENTS FOR DESIGN & SIZE WITH LOCAL ENGINEER AND BUILDING OFFICIALS.

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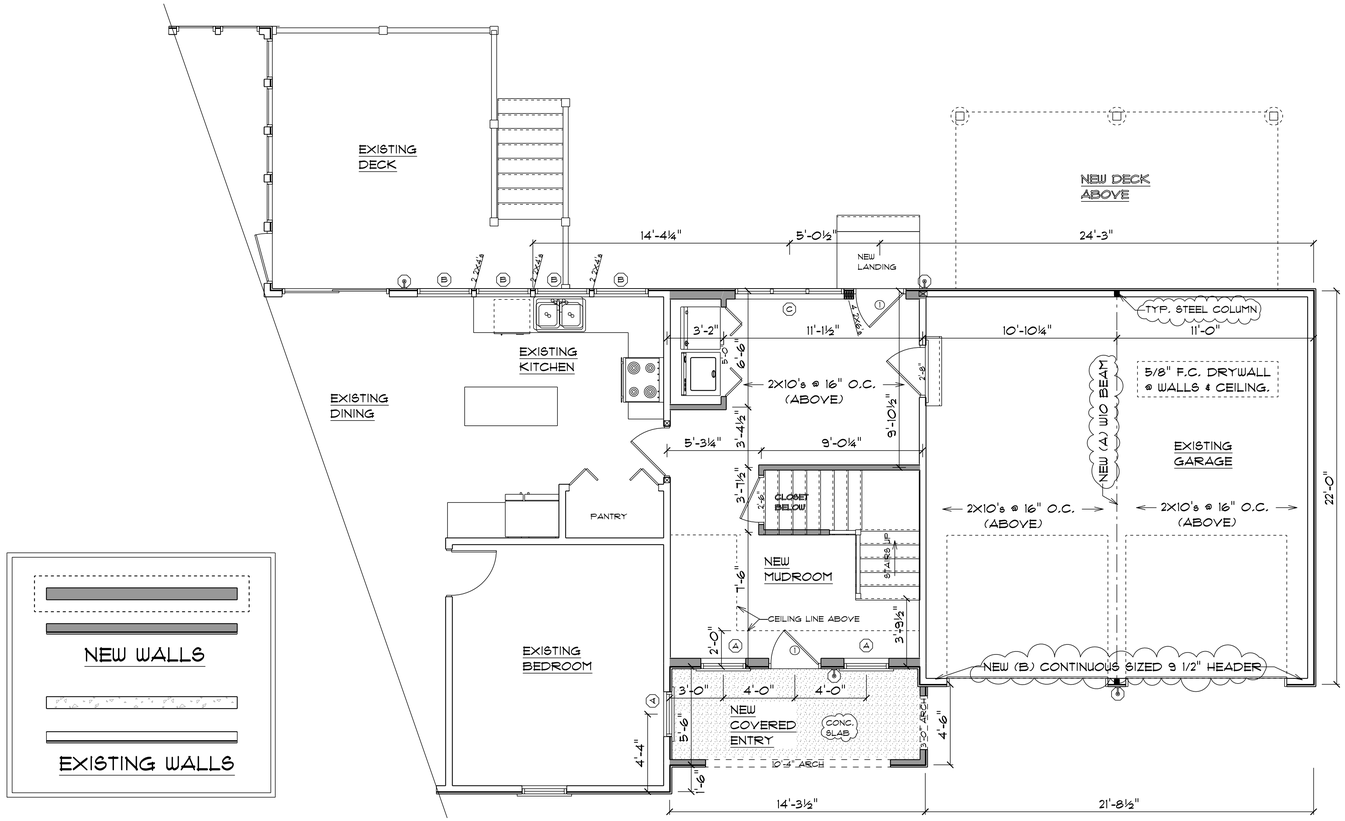
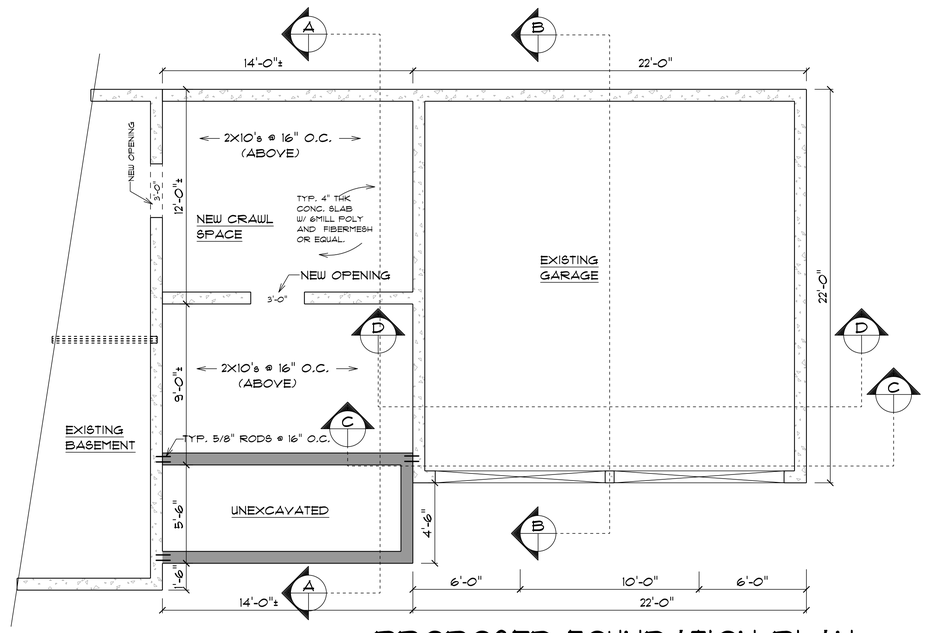
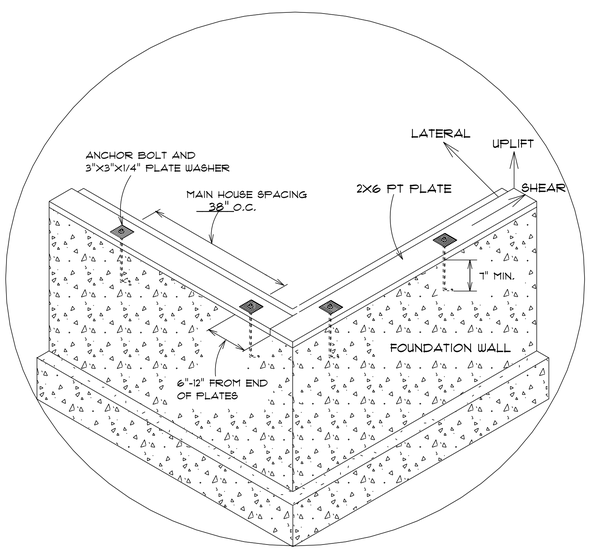


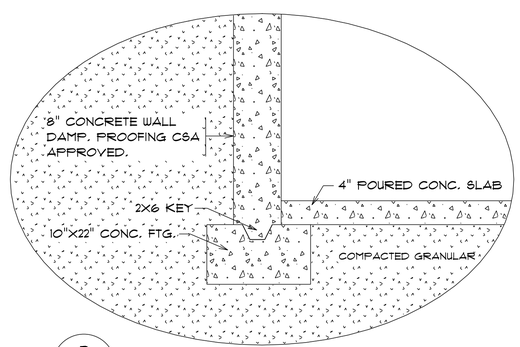
PROPOSED FIRST FLOOR PLAN



PROPOSED FOUNDATION PLAN

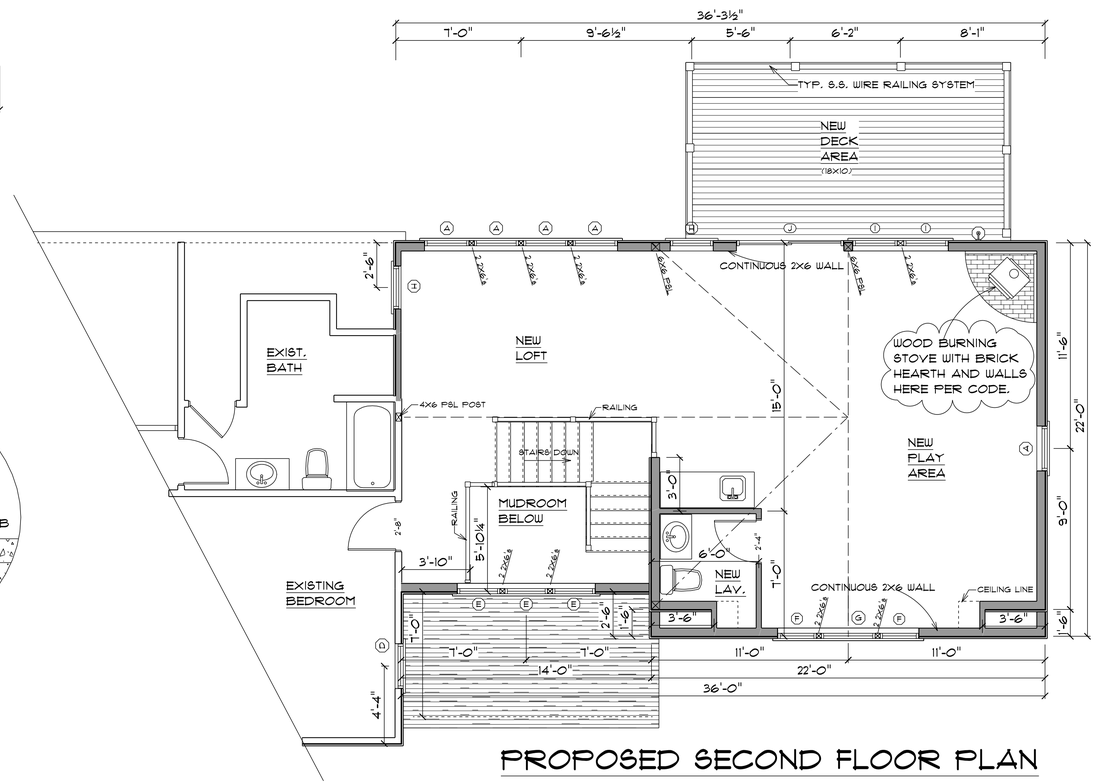


TYP. ANCHOR BOLT SPACING



D FOOTING

FOOTING DETAILS
8" CONCRETE WALL



PROPOSED SECOND FLOOR PLAN

BUILDER	JOB ADDRESS	DESIGN		DATE	REVISION	DRAWN BY	PAGE	SCALE
R.W. ANDERSON & SONS INC. CUSTOM BUILDERS	51 HOLWAY DRIVE WEST BARNSTABLE, MA.	PROPOSED LOFT AND PLAY AREA OVER EXISTING MUDROOM AND GARAGE.	WWW.JBHOMEDESIGNS.COM	5-27-21	#	JB	2 OF 5	1/4"=1'-0"

NOTE (1) PURCHASE OF DRAWINGS LEAVES PURCHASER RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES, JB DESIGNS MAY NOT BE HELD RESPONSIBLE FOR SITE CONDITIONS OR FOR THE USE OF THESE DRAWINGS DURING CONSTRUCTION. (2) EXACT SIZE AND REINFORCEMENT OF ALL CONCRETE FOOTINGS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES OF CONSTRUCTION. VERIFY DESIGN WITH LOCAL ENGINEER. (3) ALL FOOTINGS SHALL EXTEND BELOW FROSTLINE VERIFY DEPTH. (4) VERIFY STRUCTURAL ELEMENTS FOR DESIGN & SIZE WITH LOCAL ENGINEER AND BUILDING OFFICIALS.

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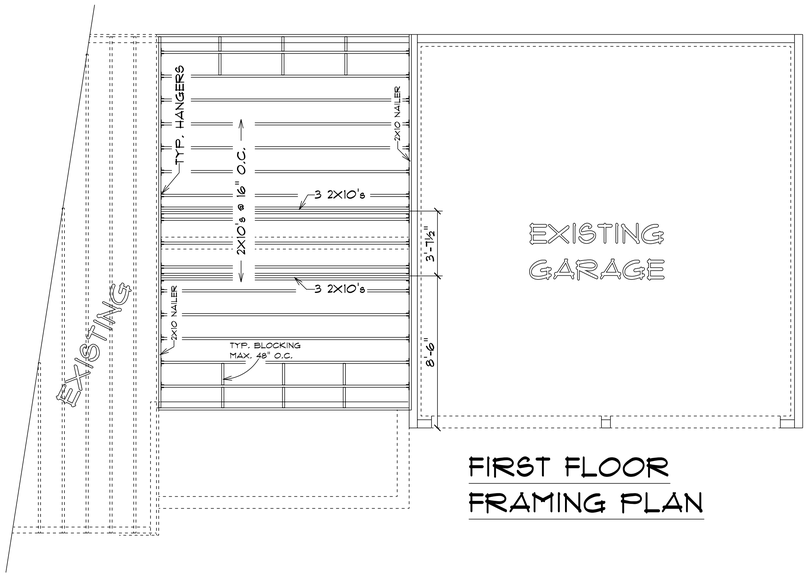
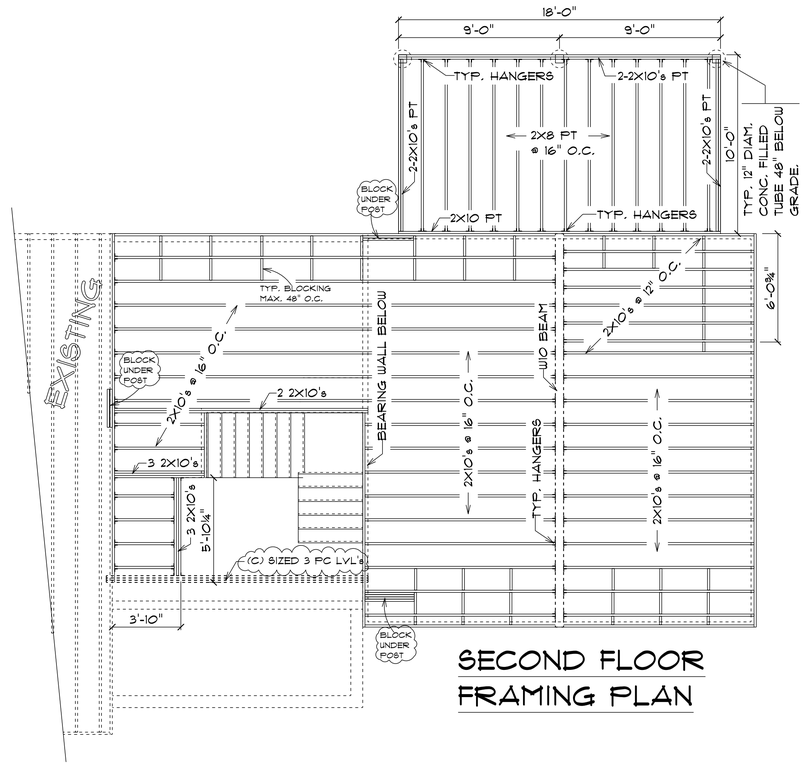
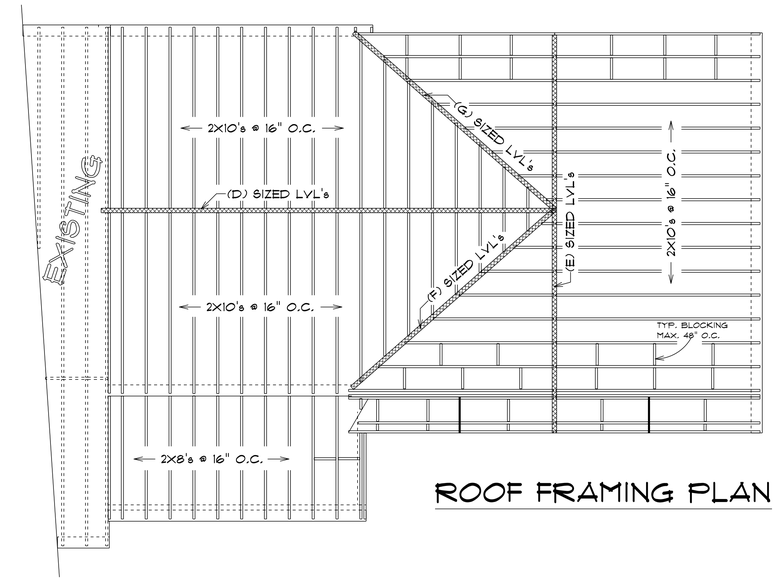


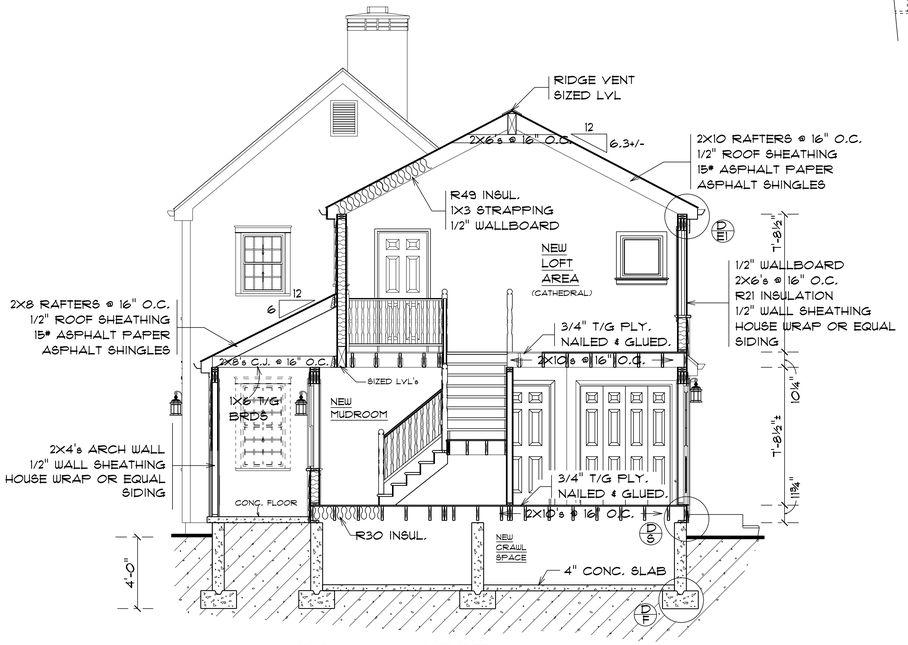
FIRST FLOOR FRAMING PLAN



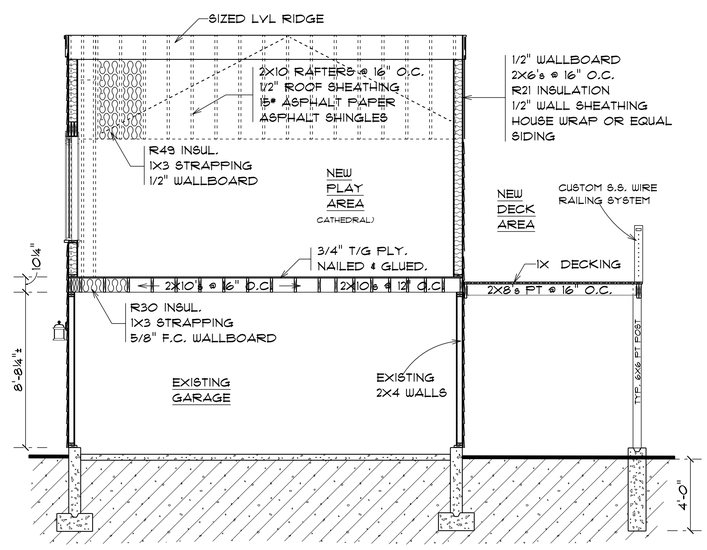
SECOND FLOOR FRAMING PLAN



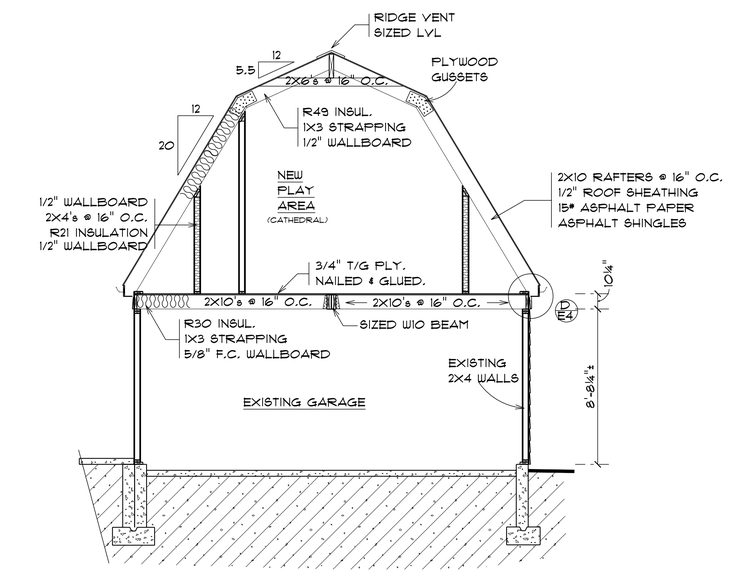
ROOF FRAMING PLAN



CROSS SECTION (A)



CROSS SECTION (B)



CROSS SECTION (C)

BUILDER	JOB ADDRESS	DESIGN		DATE	REVISION	DRAWN BY	PAGE	SCALE
R.W. ANDERSON & SONS INC. CUSTOM BUILDERS	51 HOLWAY DRIVE WEST BARNSTABLE, MA.	PROPOSED LOFT AND PLAY AREA OVER EXISTING MUDROOM AND GARAGE.	WWW.JBHOMEDESIGNS.COM	5-27-21	#	JB	3 OF 5	1/4"=1'-0"

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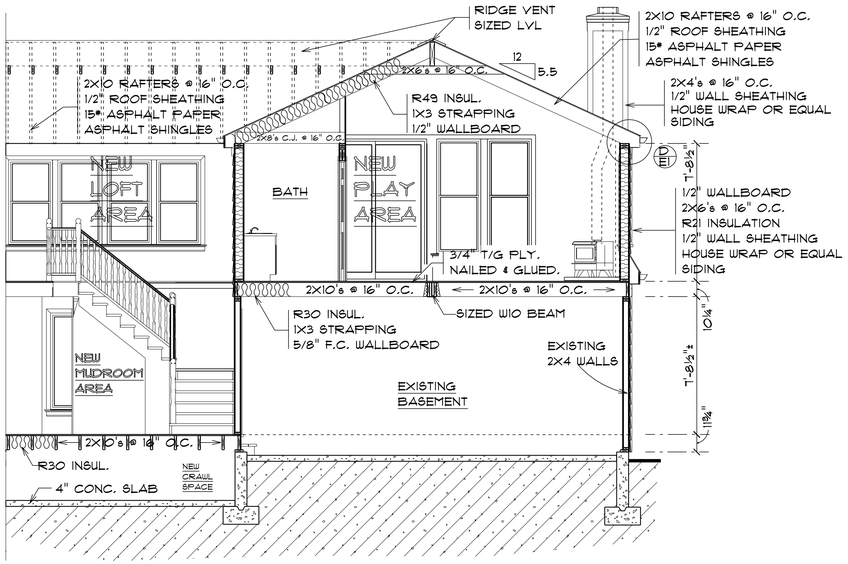
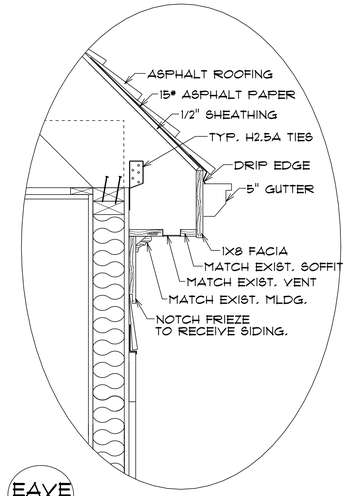
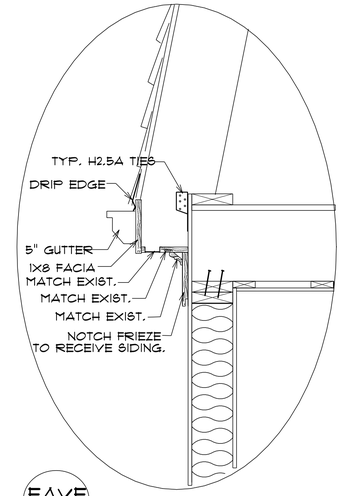


CROSS SECTION (D)



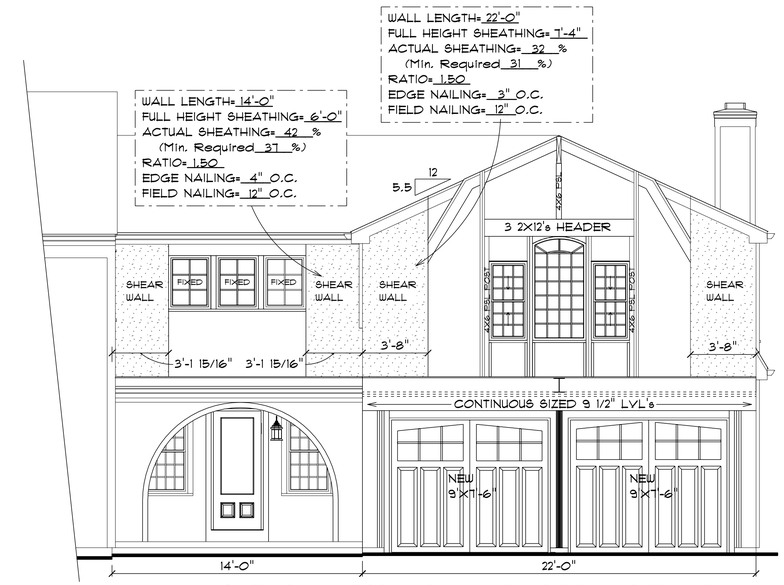
EAVE #1

EAVE DETAILS

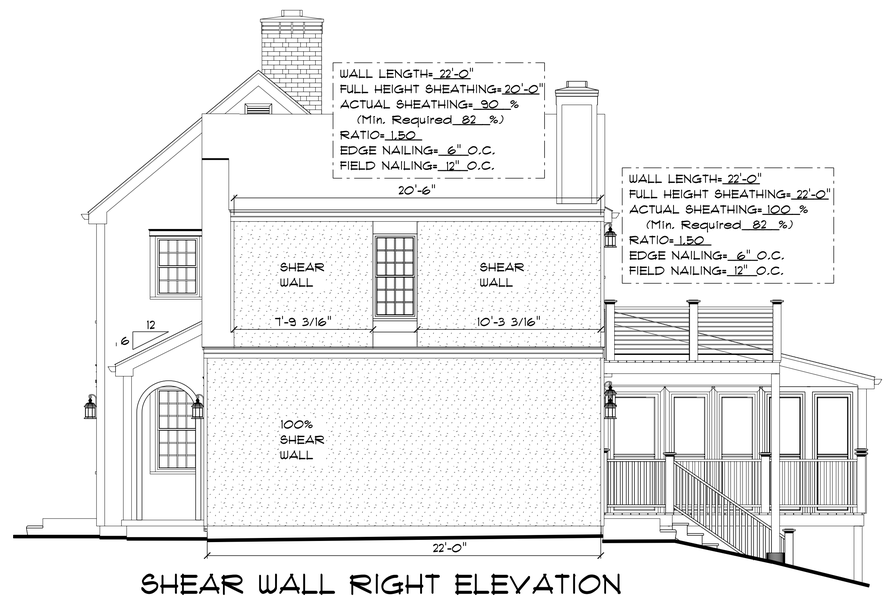


EAVE #4

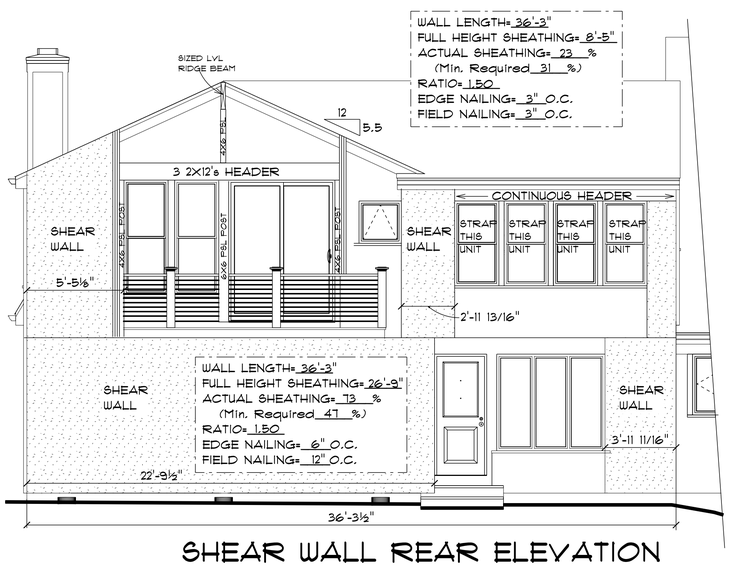
EAVE DETAILS



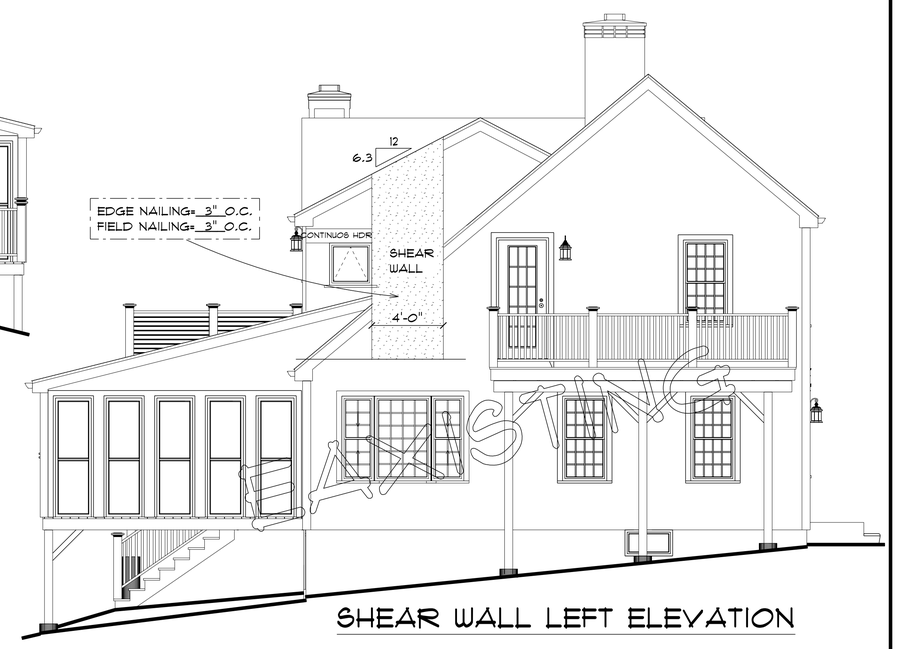
SHEAR WALL FRONT ELEVATION



SHEAR WALL RIGHT ELEVATION



SHEAR WALL REAR ELEVATION



SHEAR WALL LEFT ELEVATION

BUILDER	JOB ADDRESS	DESIGN		DATE	REVISION	DRAWN BY	PAGE	SCALE
R.W. ANDERSON & SONS INC. CUSTOM BUILDERS	51 HOLWAY DRIVE WEST BARNSTABLE, MA.	PROPOSED LOFT AND PLAY AREA OVER EXISTING MUDROOM AND GARAGE.	WWW.JBHOMEDESIGNS.COM	5-27-21	#	JB	4 OF 5	1/4"=1'-0"

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110 MPH EXPOSURE B WIND ZONE

AWC GUIDE TO WOOD CONSTRUCTION IN HIGH WIND AREAS 110 MPH WIND ZONE
MASSACHUSETTS CHECKLIST FOR COMPLIANCE (780 CMR 5301.2.1.1)

☑ CHECK COMPLIANCE

1.1 SCOPE
WIND SPEED (3-SEC. GUST) ..... 110 MPH ✓
WIND EXPOSURE CATEGORY ..... B ✓

1.2 APPLICABILITY
NUMBER OF STORIES (A ROOF WHICH EXCEEDS 8 IN 12 SLOPE SHALL BE CONSIDERED A STORY) 2 STORIES < 2 STORIES ✓
ROOF PITCH ..... (FIG 2) ..... 7/12 < 12:12 ✓
MEAN ROOF HEIGHT ..... (FIG 2) ..... 21 FT < 33' ✓
BUILDING WIDTH, W ..... (FIG 3) ..... 22 FT < 80' ✓
BUILDING LENGTH, L ..... (FIG 3) ..... 36 FT < 80' ✓
BUILDING ASPECT RATIO (L/W) ..... (FIG 4) ..... 1.50 < 3:1 ✓
NOMINAL HEIGHT OF TALLEST OPENING[2] ..... (FIG 4) ..... 6'-8" < 6' 8" ✓

1.3 FRAMING CONNECTIONS
GENERAL COMPLIANCE WITH FRAMING CONNECTIONS .... (TABLE 2) ..... ✓

2.1 FOUNDATION
FOUNDATION WALLS MEETING REQUIREMENTS OF 780 CMR 5404.1
CONCRETE ..... ✓
CONCRETE MASONRY ..... ✓

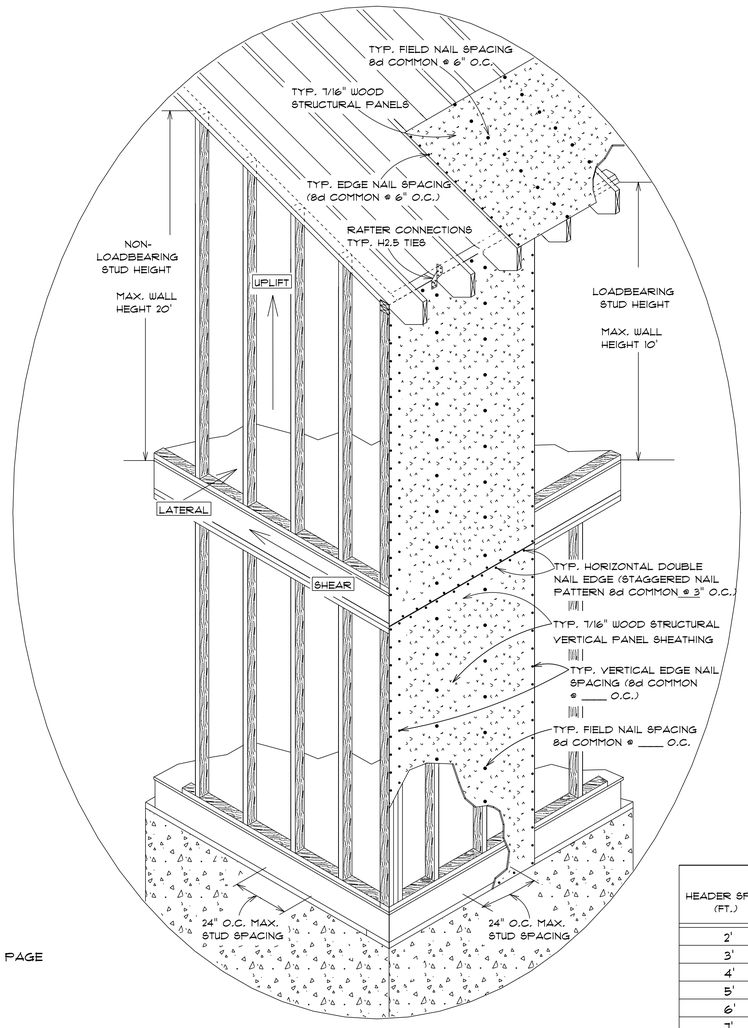
2.2 ANCHORAGE TO FOUNDATION[3]
5/8" ANCHOR BOLTS IMBEDDED OR 5/8" PROPRIETARY MECHANICAL ANCHORS AS AN ALTERNATIVE IN CONCRETE ONLY
BOLT SPACING-GENERAL ..... (TABLE 4) ..... 38 IN. ✓
BOLT SPACING FROM END/JOINT OF PLATE ..... (FIG 5) ..... 6"-12" IN. < 6"-12" ✓
BOLT EMBEDMENT-CONCRETE ..... (FIG 5) ..... 7" IN. > 7" ✓
BOLT EMBEDMENT-MASONRY ..... (FIG 5) ..... 0 IN. > 15" ✓
PLATE WASHER ..... (FIG 5) ..... > 3"x3"x1/4" ✓

3.1 FLOORS
FLOOR FRAMING MEMBER SPANS CHECKED ..... (PER 780 CMR 55.00) ..... ✓
MAXIMUM FLOOR OPENING DIMENSION ..... (FIG 6) ..... 12 FT < 12' ✓
FULL HEIGHT WALL STUDS AT FLOOR OPENINGS LESS 2' FROM EXTERIOR WALL (FIG 6) ..... ✓
MAXIMUM FLOOR JOIST SETBACKS
SUPPORTING LOADBEARING WALLS OR SHEARWALL , (FIG 7) ..... 0 FT < d ✓
MAXIMUM CANTILEVERED FLOOR JOIST
SUPPORTING LOADBEARING WALLS OR SHEARWALL , (FIG 8) ..... 0 FT < d ✓
FLOOR BRACING AT ENDWALLS ..... (FIG 9) ..... ✓
FLOOR SHEATHING TYPE ..... (PER 780 CMR 55.00) ..... ✓
FLOOR SHEATHING THICKNESS ..... (PER 780 CMR 55.00) ..... 3/4 IN. ✓
FLOOR SHEATHING FASTENING ..... (TABLE 2) 8 d NAILS AT 6" IN EDGE/ 12" IN FIELD ✓

4.1 WALLS
WALL HEIGHT
LOADBEARING WALLS ..... (FIG 10 AND TABLE 5) ..... 7'-8" FT < 10' ✓
NON-LOADBEARING WALLS ..... (FIG 10 AND TABLE 5) ..... 7'-8" FT < 20' ✓
WALL STUD SPACING ..... (FIG 10 AND TABLE 5) ..... 16 IN < 24" O.C. ✓
WALL STORY OFFSETS ..... (FIG 7 & 8) ..... 0 FT < d ✓

4.2 EXTERIOR WALLS[3]
WALL STUDS
LOADBEARING WALLS ..... (TABLE 5) ..... 2X 6 - 7 FT. 8 IN ✓
NON-LOADBEARING WALLS ..... (TABLE 5) ..... 2X 6 - 7 FT. 8 IN ✓
GABLE END WALL BRACING[1]
FULL HEIGHT ENDWALL STUDS ..... (FIG 10) ..... ✓
WSP ATTIC FLOOR LENGTH ..... (FIG 11) ..... 0 FT > W/3 ✓
GYPSUM CEILING LENGTH (IF WSP NOT USED) ..... (FIG 11) ..... 0 FT > 0.9W ✓
AND 2X4 CONTINUOUS LATERAL BRACE @ 6 FT. O.C. (FIG 11) ..... ✓
OR 1X3 CEILING FURRING STRIPS @ 16" SPACING MIN. WITH 2X4 BLOCKING @ 4 FT. SPACING IN END ..... ✓
JOIST OR TRUSS BAYS ..... ✓
DOUBLE TOP PLATE
SPLICE LENGTH ..... (FIG 13 AND TABLE 6) ..... 8 FT ✓
SPLICE CONNECTION (NO. OF 16d COMMON NAILS) (TABLE 6) ..... 8 ✓
LOADBEARING WALL CONNECTIONS
LATERAL (NO. OF 16D COMMON NAILS) ..... (TABLE 7) ..... 2 ✓
NON-LOADBEARING WALL CONNECTIONS
LATERAL (NO. OF 16d COMMON NAILS) ..... (TABLE 8) ..... 2 ✓
LOAD BEARING WALL OPENINGS (RECORD LARGEST OPENING BUT CHECK ALL OPENINGS FOR COMPLIANCE TO TABLE 9)
HEADER SPANS ..... (TABLE 9) ..... 3 FT 0 IN. < 11' ✓
SILL PLATE SPANS ..... (TABLE 9) ..... 3 FT 0 IN. < 11' ✓
FULL HEIGHT STUDS (NO. OF STUDS) ..... (TABLE 9) ..... 2 ✓
NON-LOAD BEARING WALL OPENINGS (RECORD LARGEST OPENING BUT CHECK ALL OPENINGS FOR COMPLIANCE TO TABLE 9)
HEADER SPANS ..... (TABLE 9) ..... 6 FT 0 IN. < 12' ✓
SILL PLATE SPANS ..... (TABLE 9) ..... 0 FT 0 IN. < 12' ✓
FULL HEIGHT STUDS (NO. OF STUDS) ..... (TABLE 9) ..... 3 ✓
EXTERIOR WALL SHEATHING TO RESIST UPLIFT AND SHEAR SIMULTANEOUSLY[4]
MINIMUM BUILDING DIMENSION, (W)
NOMINAL HEIGHT OF TALLEST OPENING[2] ..... 4'-9" < 6'8" ✓
SHEATHING TYPE ..... (NOTE 4) ..... 1/2 IN. ✓
EDGE NAIL SPACING ..... (TABLE 10 OR NOTE 4 IF LESS) ..... IN. ✓
FIELD NAIL SPACING ..... (TABLE 10) ..... IN. ✓ SEE PAGE
SHEAR CONNECTION (NO. OF 16d COMMON NAILS) (TABLE 10) ..... ✓
PERCENT FULL-HEIGHT SHEATHING ..... (TABLE 10) ..... % ✓
5% ADDITIONAL SHEATHING FOR WALL WITH OPENING > 6'8" (DESIGN CONCEPTS) ..... ✓
MAXIMUM BUILDING DIMENSION, (L)
NOMINAL HEIGHT OF TALLEST OPENING[2] ..... 8'-0" < 6'8" ✓
SHEATHING TYPE ..... (NOTE 4) ..... 1/2 IN. ✓
EDGE NAIL SPACING ..... (TABLE 11 OR NOTE 4 IF LESS) ..... IN. ✓
FIELD NAIL SPACING ..... (TABLE 11) ..... IN. ✓ SEE PAGE
SHEAR CONNECTION (NO. OF 16d COMMON NAILS) (TABLE 11) ..... ✓
PERCENT FULL-HEIGHT SHEATHING (TABLE 11) ..... % ✓
5% ADDITIONAL SHEATHING FOR WALL WITH OPENING > 6'8" (DESIGN CONCEPTS) ..... ✓
WALL CLADDING
RATED FOR WIND SPEED? ..... ✓

5.1 ROOFS
ROOF FRAMING MEMBER SPANS CHECKED? (FOR RAFTERS USE AWC SPAN TOOL, SEE BBRS WEBSITE) ..... ✓
ROOF OVERHANG ..... (FIGURE 19) ..... 7 1/2" FT < SMALLER OF 2' OR L/3 ✓
TRUSS OR RAFTER CONNECTIONS AT LOADBEARING WALLS
PROPRIETARY CONNECTORS
UPLIFT ..... (TABLE 12) ..... U= 269 PLF ✓
LATERAL ..... L= 176 PLF ✓
SHEAR ..... (TABLE 12) ..... S= 77 PLF ✓
RIDGE STRAP CONNECTIONS, IF COLLAR TIES NOT USED PER (TABLE 13) ..... T= 194 PLF ✓
GABLE RAKE OUTLOOKER ..... (FIGURE 20) ..... 0 FT < SMALLER OF 2' OR L/2 ✓
TRUSS OR RAFTER CONNECTIONS AT NON-LOADBEARING WALLS
PROPRIETARY CONNECTORS
UPLIFT ..... (TABLE 14) ..... U= 417 LB. ✓
LATERAL (NO. OF 16d COMMON NAILS) ..... (TABLE 14) ..... L= 148 LB. ✓
ROOF SHEATHING TYPE ..... (PER 780 CMR 58.00 AND 59.00) ..... ✓
ROOF SHEATHING THICKNESS ..... 1/2 IN. > 7/16" WSP ✓
ROOF SHEATHING FASTENING ..... (TABLE 2) ..... ✓



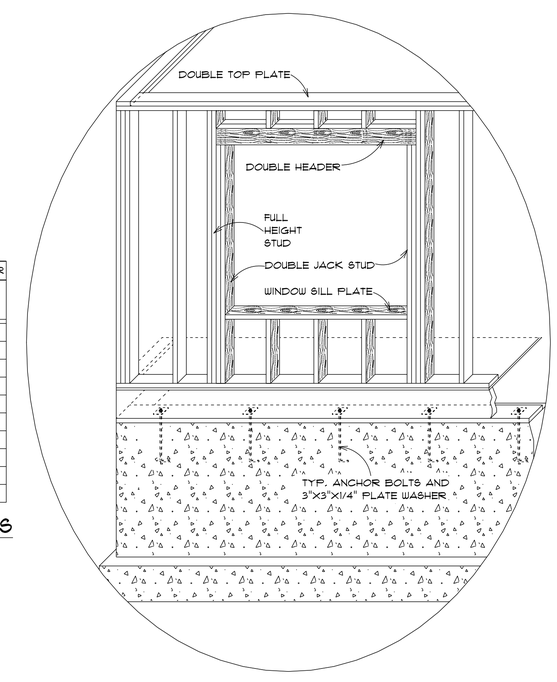
MAXIMUM WALL STUD HEIGHT , STUD SPACING , RAFTER CONNECTION AND WALL SHEATHING

JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NUMBER OF BOX NAILS	NAIL SPACING
ROOF FRAMING			
BLOCKING TO RAFTERS (TOE-NAILED)	2-8d	2-10d	EACH END
RIM BOARD TO RAFTER (END-NAILED)	2-16d	3-16d	EACH END
WALL FRAMING			
TOP PLATE AT INTERSECTIONS (FACE-NAILED)	4-16d	5-16d	AT JOINTS
STUD TO STUD (FACE-NAILED)	2-16d	2-16d	24" O.C.
HEADER TO HEADER (FACE-NAILED)	16d	16d	16" O.C. ALONG EDGES
FLOOR FRAMING			
JOIST TO SILL, TOP PLATE OR GIRDER (TOE-NAILED)	4-8d	4-10d	PER JOIST
BLOCKING TO JOIST (TOE-NAILED)	2-8d	2-10d	EACH END
BLOCKING TO SILL OR TOP PLATE (TOE-NAILED)	3-16d	4-16d	EACH BLOCK
LEDGER STRIP TO BEAM OR GIRDER (FACE-NAILED)	3-16d	4-16d	EACH JOIST
JOIST ON LEDGER TO BEAM (TOE-NAILED)	3-8d	3-10d	PER JOIST
BAND JOIST TO JOIST (END-NAILED)	3-16d	4-16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE-NAILED)	2-16d	3-16d	PER JOIST
ROOF SHEATHING			
WOOD STRUCTURAL PANELS			
RAFTERS OR TRUSSES SPACED UP TO 16" O.C.	8d	10d	6" EDGE / 6" FIELD
RAFTERS OR TRUSSES SPACED OVER 16" O.C.	8d	10d	4" EDGE / 4" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS WITH NO GABLE OVERHANG	8d	10d	6" EDGE / 6" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS W/STRUCTURAL OUTLOOKERS	8d	10d	6" EDGE / 6" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS W/LOOKOUT BLOCKS	8d	10d	4" EDGE / 4" FIELD
CEILING SHEATHING			
GYPSUM WALLBOARD	5d COOLERS	-	7" EDGE / 10" FIELD
WALL SHEATHING			
WOOD STRUCTURAL PANELS STUDS SPACED UP TO 24" O.C.	8d	10d	6" EDGE / 12" FIELD
1/2" AND 25/32" FIBERBOARD PANELS	8d	-	3" EDGE / 6" FIELD
1/2" GYPSUM WALLBOARD	5d COOLERS	-	7" EDGE / 10" FIELD
FLOOR SHEATHING			
WOOD STRUCTURAL PANELS 1" OR LESS	8d	10d	6" EDGE / 12" FIELD
GREATER THAN 1"	10d	10d	6" EDGE / 6" FIELD

GENERAL NAILING SCHEDULE

HEADER SPAN (FT.)	MINIMUM HEADER SIZE	REQUIREMENTS AT EACH END OF HEADER		
		NUMBER OF FULL-HEIGHT STUDS	UPLIFT (LB.)	LATERAL (LB.)
2'	2-2X4	1	277	132
3'	2-2X4	2	416	198
4'	2-2X4	2	554	264
5'	2-2X4	3	693	330
6'	2-2X6	3	831	396
7'	2-2X8	3	970	462
8'	2-2X12	3	1,108	528
9'	3-2X10	3	1,247	594
10'	3-2X12	4	1,385	660
11'	4-2X10	4	1,524	726

WALL OPENINGS - HEADERS IN LOADBEARING WALLS



STUDS AND HEADERS AROUND WALL OPENINGS

BUILDER	JOB ADDRESS	DESIGN		DATE	REVISION	DRAWN BY	PAGE	SCALE
R.W. ANDERSON & SONS INC. CUSTOM BUILDERS	51 HOLWAY DRIVE WEST BARNSTABLE, MA.	PROPOSED LOFT AND PLAY AREA OVER EXISTING MUDROOM AND GARAGE.	WWW.JBHOMEDESIGNS.COM	5-27-21	#	JB	5 OF 5	1/4"=1'-0"

NOTE
(1) PURCHASE OF DRAWINGS LEAVES PURCHASER RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND ORDINANCES, JB DESIGNS MAY NOT BE HELD RESPONSIBLE FOR SITE CONDITIONS OR FOR THE USE OF THESE DRAWINGS DURING CONSTRUCTION.
(2) EXACT SIZE AND REINFORCEMENT OF ALL CONCRETE FOOTINGS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES OF CONSTRUCTION. VERIFY DESIGN WITH LOCAL ENGINEER.
(3) ALL FOOTINGS SHALL EXTEND BELOW FROSTLINE VERIFY DEPTH.
(4) VERIFY STRUCTURAL ELEMENTS FOR DESIGN & SIZE WITH LOCAL ENGINEER AND BUILDING OFFICIALS.

JB Designs
P.O. BOX 285
WEST BARNSTABLE MA. 02668
(508) 494-9534

Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

1. Building construction: ☐ New ☐ Addition ☐ Alteration
2. Type of Building: ☐ House ☐ Garage/barn ☐ Shed ☐ Commercial ☐ Other
3. Exterior Painting, roof ☐ new roof ☐ color/material change, of trim, siding, window, door
4. Sign : ☐ New Sign ☐ Existing Sign ☐ Repainting Existing Sign
5. Structure: ☑ Fence ☐ Wall ☐ Flagpole ☐ Retaining wall ☐ Tennis court ☐ Other
6. Pool ☐ Swimming ☐ Other man-made pool ☐ Solar panels ☐ Other

Type or Print Legibly: Date 8/11/2021

NOTE All applications must be signed by the current owner

Owner (print): Robert Brennick Telephone #: 508-954-3392

Address of Proposed Work: 90 Bay View Rd Village Barnstable Map Lot # ~~[illegible]~~ Lots 21, 22, 23A

Mailing Address (if different) 40 Amber Dr, Wrentham, MA 02093

Owner's Signature [signature]

Description of Proposed Work: Give particulars of work to be done: Please see attached typed description of work and visual attachments including plot plan. This in regards to erecting a perimeter fence and privacy fence for safety.

Agent or Contractor (print): EHE Construction Landscaping Telephone #: 508 367 0909

Address: P.O. Box 1807 Hyannis, MA 02601

Contractor/Agent' signature: HVGO

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ **Members signatures** _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle ___ other _____
Material: red cedar ____ white cedar _____ other _____ Color: _____

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ *(specify on plans for new buildings, major additions)*

Window and door trim material: wood _____ other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes Ist member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills *(please check all that apply_:*
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior___ None _____

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood _____ other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style Vertical Flat Board and vertical Picket material: Prefer Vinyl Color: White

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) _____ Print Name Robert Brennick

Town of Barnstable, Old Kings Highway Historic District Committee

CHECKLIST -- CERTIFICATE OF APPROPRIATENESS

Please check the applicable categories; This check list must be completed and submitted with your application.

1. ALTERATIONS (new paint color, changes to siding, roof shingles, windows or door etc.)

- ☐ **Application for Certificate of Appropriateness**, 5 copies.
- ☐ **Spec Sheet**, 4 copies; brochures and color samples.
- ☐ Plans of building elevations/photographs, 5 copies, ONLY if there is a change to the location and size of the window (s) or door (s)

2. MINOR ADDITIONS e.g. decks, shed (over 120 sq. feet)

- ☐ **Application for Certificate of Appropriateness**, 5 copies.
- ☐ **Spec Sheet**, 5 copies; brochures and color samples.
- ☐ **Site Plan**, 5 copies, **ONLY** if there is a change to the building footprint.
  A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, UNLESS the porch, deck, pool, or shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted, see requirements as applicable, see 4. Site Plan, below.
- ☐ **Photographs** of all building elevation affected by any proposed alterations.
- ☐ **Plans:** 5 copies plus 1 at reduced scale to fit 8.5 x 11 or 11 x 17 paper
  Company brochure of manufacturer's shed **OR** to-scale sketch of affected structure or building elevations.

3. STRUCTURES, NEW/ALTERED (fences, new stonewalls or changes to, retaining walls, pools etc)

- ☑ **Application for Certificate of Appropriateness**
- ☑ **Spec Sheet**, brochures or diagram.
- ☑ **Site plan**, see Instructions 2. Site Plan, above.
- N/A ☑ **Photographs** of any existing structure that will be affected by change. No structures altered.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING

- ☐ **Application for Certificate of Appropriateness** (5 copies).
- ☐ **Spec Sheet**, 5 copies, brochures and samples of colors.
- ☐ **Site Plan**, 5 copies, at an appropriate scale. & 5 copies of site plans at reduced scaled to fit 8.5"X11 or 11X17 paper
  Site Plans shall contain the following:
  - ☐ Name of applicant, street location, map and parcel.
  - ☐ Name of architect, engineer or surveyor; original stamp and signature; date of plan and revision dates.
  - ☐ North arrow, written and drawn scale.
  - ☐ Changes to existing grades shown with one-foot contours.
  - ☐ Proposed and existing footprint of the building and/or structures, and distance to lot lines.
  - ☐ Proposed driveway location.
  - ☐ Proposed limits of clearing for building(s), accessory structure(s), driveway and septic system.
  - ☐ Retaining walls or accessory structures (e.g. pool, tennis court, cabanas, barn, garage etc.)

- ☐ **Building Elevations:**
  - o 5 copies of plans at a scale of ¼" = 1 foot; a written and drawn scale.
  - o 5 copies of plans at a reduced scale to fit 8.5"x 11 or 11 x 17 paper.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - *CONTINUED*

Plans shall include the following:

- ☐ Name of applicant, street location, map and parcel.
- ☐ Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- ☐ A written and bar drawn scale
- ☐ Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- ☐ Window schedule on plans.
- ☐ **Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:
  - o Name of applicant, street address, assessor's map and parcel number.

    Name address and telephone number of the plan preparer, plan date, & dates of revisions
  - ☐ The location of existing and proposed buildings and structures, and lot lines.
  - ☐ Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
  - ☐ Existing buffer areas to remain.
  - ☐ Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
  - ☐ The location, number, size and name of proposed new trees and plants.
  - ☐ Driveway, parking areas, walkways, and patios indicating materials to be used.
  - ☐ Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
  - ☐ All proposed exterior lighting and signs.
- ☐ **Sketch or photos of adjacent properties**, (1 copy only)

  A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.
- ☐ **Photographs of all sides of existing buildings** to remain, or being added to .

Please complete the following:

Existing building, foot print:
Building 1 _____ sq. ft. Building 2 _____
Existing Building, gross floor area, including area of finished basement:
Building 1 _____ sq. ft. Building 2 _____
New building or addition, foot print:
Building 1 _____ sq. ft. Building 2 _____
New Building or addition, gross floor area, including area of finished basement:
Building 1 _____ sq. ft. Building 2 _____

5. SIGNS

- ☐ Diagram of sign, showing graphics, size, design and height of post, color and materials.
- ☐ Spec sheet.
- ☐ Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- ☐ Drawing of location of panels on house showing roof and panel dimensions.
- ☐ Site plan showing location of building on property. (Assessors map may be submitted)
- ☐ Height of solar panel above the roof.
- ☐ Color of panels
- ☐ Finish (matt or glossy)

7. FEES

- ☑ **Fees** according to schedule, made payable to the Town of Barnstable
- ☑ $19.84 made payable to the Barnstable Patriot for the required legal ad notification
- ☑ **First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) _____ Print Robert Brennick

Date: 8/11/2021 Tel. Phone no's: 508-954-3392

Email RJB284@gmail.com

NOTE: *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

ATTENDANCE AT MEETINGS: *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

APPEAL PERIOD **APPROVED PLANS** **PLAN PICK UP**

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Growth Management, Regulatory Division, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway District Commission.

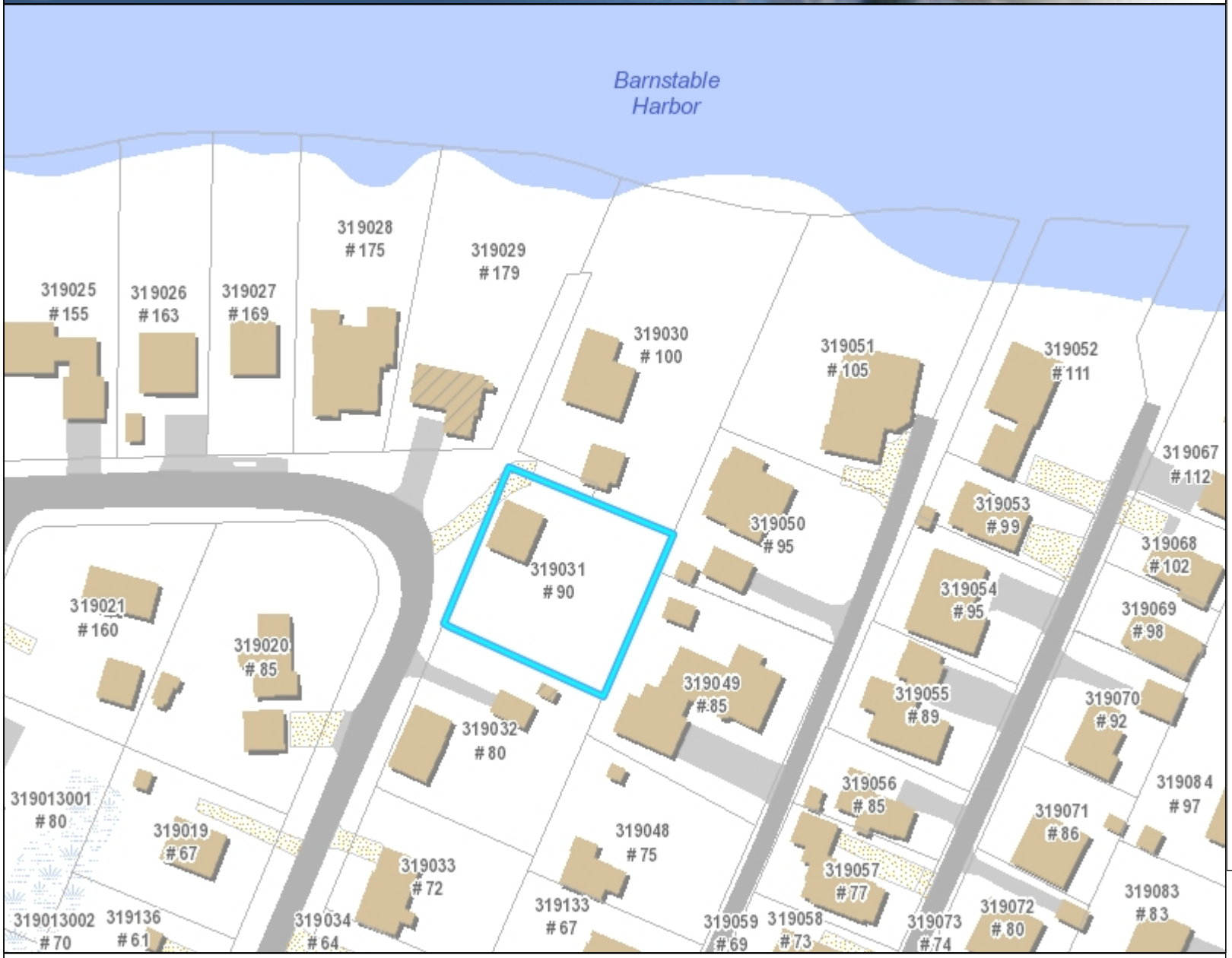
BUILDING PERMITS, OTHER AGENCY CONTACTS

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.
Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038
Conservation Division 508-862-4093 Health Division 508-862-4644

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787

TOWN OF BARNSTABLE

PROPERTY MAPS



Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - Bridge
  - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 8/16/2021

0 — 83 — 167 Feet

Approx. Scale: 1 inch = 83 feet

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

TOWN OF BARNSTABLE

PROPERTY MAPS

Legend

Road Names

Map printed on: 8/16/2021

0 42 83 Feet

Approx. Scale: 1 inch = 42 feet

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

12.12.2019

6.14.2018

11/20/2013

6.14.2018

11/20/2013

6.14.2018

6.14.2018

1506
6.14.2018

BOISE CASCADE VERSA-LAM 1.8-2750 APA
6.14.2018

6.14.2018

6.14.2018

6.14.2018

ZIP system
6.14.2018

6.14.2018

© 2018 - Town of Barnstable - ParcelLookup

8/11/2021

To Barnstable Old Kings Highway Office:

My name is Robert Brennick and I am the homeowner of 90 Bay View Road, Barnstable, MA 02630. My family and I are respectfully submitting the below outlined plans to complete the installation of a fence for the use and enjoyment of our property while maintaining safety, security and privacy with our two young children (ages 4 and 5). Our home has an open backyard and there are multiple rental homes directly abutting our property, where we have witnessed groups entering our property, cutting through our yard to cross from George St. (behind our home) through to Bay View Rd and Sunset Ln (in front of our property). We are concerned with the safety and security of our home and young children who play in our backyard. With the noise and constant cut through of our property, our children have not been able to enjoy the property. We are also concerned with privacy. Our bedroom is on the first floor and directly visible from the neighboring properties. Our window shades are constantly closed for privacy. We are seeking your review and approval of these proposed plans. There are also visual attachments to support the application for your review and approval.

Proposed plans:

- Install a privacy fence beginning at the mid-point of the garage. Fence wraps around the border of the property on the right side of the house (if you are looking at the house from the public way) and runs along the back border of the property (not visible from the public way). Fence stops at the beginning of the mitigation planting bed in the back yard in the rear of the property. We desire to install a 7 foot vinyl fence in white color. Shown in orange on the attachments of the plot plan. The fence description can be seen in the attachment (Weatherables Mason 7 ft H x 8 ft W White Vinyl Privacy Fence Panel Kit). The reason for the fence in vinyl is because of the proximity to the ocean and the protection of the environment. We are concerned with durability of any product other than Vinyl and believe adding a wood fence that would need to be stained or painted with a product would be a detriment to the environment.
- Install a perimeter fence around the existing meadow garden planting bed. Fence wraps around the border of the meadow garden planting bed on the left side of the property (if you are looking at the house from the public way). We desire to install a 4 foot vinyl picket fence in white color. Shown in green on the attachment of the plot plan. The fence description can be seen in the attachment (Weatherables Hampshire ft H x 6 ft W White Vinyl Picket Fence Panel Kit). The reason for the fence in vinyl is because of the proximity to the ocean and the protection of the environment. We are concerned with durability of any product other than Vinyl and believe adding a wood fence that would need to be stained or painted with a product would be a detriment to the environment.

Thank you for your consideration and please do not hesitate to contact me with any questions.

Sincerely yours,

Robert Brennick

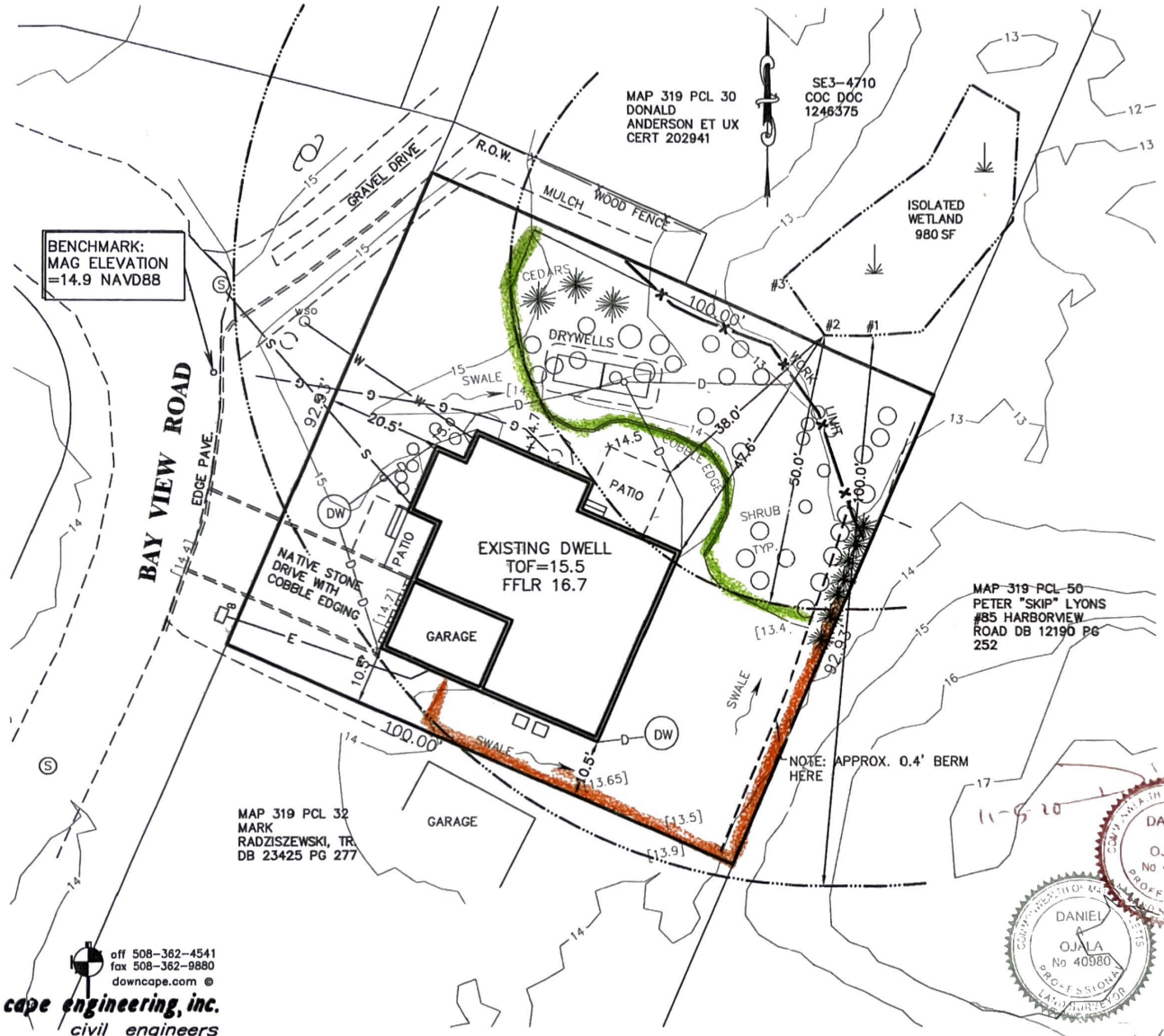
90 Bay View Road, Barnstable, MA 02630 (address of proposed work)

40 Amber Drive, Wrentham, MA 02093 (permanent mailing address)

(508) 954-3392

Rjb284@gmail.com

OKH Committee Members: Please note that the applicant has added alternative fences with this application. The privacy fence includes (3) options and the perimeter fence includes (2) options.



ASSESSORS MAP 319 PARCEL 31

LOCUS IS WITHIN FEMA FLOOD ZONE X

DWELLING IS CONNECTED TO TOWN SEWER

ZONING SUMMARY

ZONING DISTRICT: RB DISTRICT

MIN. LOT SIZE	43,560 S.F.
MIN. LOT FRONTAGE	20'
MIN. LOT WIDTH	100'
MIN. FRONT SETBACK	20'
MIN. SIDE SETBACK	10'
MIN. REAR SETBACK	10'
MAX. BUILDING HEIGHT	30'

PRIVACY FENCE

PERIMETER FENCE

EXISTING CONDITIONS PLOT PLAN

OF

90 BAY VIEW ROAD BARNSTABLE

PREPARED FOR

ANTHONY TAM

11-5-2020

Scale: 1"= 20'

0 10 20 30 40 50 FEET

DATE

DANIEL A. OJALA, P.E., P.L.S.

off 508-362-4541
fax 508-362-9880
downcape.com ©

down cape engineering, inc.
civil engineers
land surveyors
939 Main Street (Rte 6A)
YARMOUTHPORT MA 02675

DCE #19-253

FREE IN-STORE PICKUP Over one million online items eligible. ›

You're shopping
Mansfield
OPEN until 10 pm
Delivering to
02048
Search
Cart | 0 items

PRIVACY FENCE
OPTION 1 (PREFERRED OPTION)

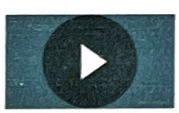
Internet #301042575 Model #PWPR-CT-7X8

Weatherables (Brand Rating: 4.4/5)

Mason 7 ft. H x 8 ft. W White Vinyl Privacy Fence Panel Kit

★★★★★ (2) Questions & Answers (2)

Live Chat
Feedback



$268 16

Save up to $100 on your qualifying purchase.
Apply for a Home Depot Consumer Card

PRIVACY FENCE
OPTION 1 (PREFERRED OPTION)

Color/Finish: **White**

Nominal Panel Height x Width (ft.): **7 ft x 8 ft**

7 ft x 8 ft

Live Chat

Feedback

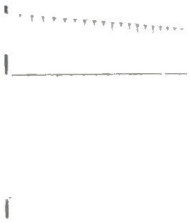
How To Get it

This item is currently out of stock

Receive an email if this item is back in stock.

Notify Me

We found similar options you might like



Weatherables Glenshire 6 ft. H x 8 ft. W White Vinyl
★★★★½ (34)

Veranda Anderson 6 ft. x 8 ft. White Vinyl Lattice Top
★★★★☆ (15)

Zippity Outdoor Products 4 ft. x 4 ft. Premium White
★★★★½ (369)

Veranda Overland 6 ft. H x 6 ft. W White Vinyl Privacy
★★★★☆ (11)

Veranda Rainier 6 ft. x 8 ft. White Vinyl Closed
★★★★★ (1)

$123.18 $173.59 $155.00 $94.57 $221.12 $

PRIVACY FENCE
OPTION 1 (PREFERRED OPTION)

Product Overview

Add style and security to your yard with the Mason vinyl privacy fence from Weatherables. Featuring a closed-top picket accent, the Mason privacy fence will add value to your home for decades to come. Fade resistant and built to last, the Mason privacy fence is produced leveraging our exclusive, engineer-tested manufacturing process and the highest-grade materials to create the strongest, most durable, low-maintenance vinyl fencing anywhere. The tongue and groove pickets lock together creating full privacy and security for your property while also adding a stylish accent to your outdoor living space. Easy to maintain, you will never need to paint, stain or apply harsh chemicals to clean it. The Mason privacy fence is easy to assemble, making it a perfect solution for the do-it-yourself homeowner as well as professional contractors or installers.

Info & Guides

You will need Adobe® Acrobat® Reader to view PDF documents. Download a free copy from the Adobe Web site.

Live Chat
Feedback

Get Everything You Need (15)

Everbilt
Galvanized Gate Tee Hinge, Latch and Pull Set
★★★★½ (49)

Everbilt
Black Post Latch Gate Set
★★★★½ (172)

Tru-Close
D&D 5-1/8 in. x 3-3/4 in. E...
Self-Closing Vinyl and Wood...
★★★★ (74)

$28.64	$27.58	$37.21
Add To Cart	Add To Cart	Add To Cart

PRIVACY FENCE
OPTION 1 (PREFERRED OPTION)

Specifications

Dimensions

Actual panel height (in.)	84
Actual panel thickness (in.)	1.5
Actual panel width (in.)	96
Nominal panel height (ft.)	7
Nominal panel width (ft.)	8

Details

Color Family	White
Color/Finish	White
Contact Type Allowed	Ground Contact
Features	UV Protected,Water Resistant
Fencing Product Type	Vinyl Fence Panels
Includes	No Additional Items Included
Material	Vinyl
Nominal panel thickness (in.)	1.75
Number of pickets for panels	15
Number of rails for panels	3
Panel Assembly	Unassembled Panel
Panel Pattern	Privacy
Product Weight (lb.)	73.87

Live Chat
Feedback

Returnable	90-Day
Top Shape	Flat
Top Style	Framed

Warranty / Certifications

Manufacturer Warranty	Limited Lifetime

PRIVACY FENCE
OPTION 1 (PREFERRED OPTION)

Live Chat
Feedback

#1 Home Improvement Retailer

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Internet #311386588 Model #5219 Store SKU #1004921409

PRIVACY FENCE
OPTION 2

Live Chat
Feedback

6 ft. H x 8 ft. W Cedar Dog-Ear Fence Panel

71

Write the First Review Questions & Answers (29)

Visit Pro Desk

Call us to discuss pricing and availability in your area. We will take your order when you are ready to purchase.

PRIVACY FENCE
OPTION 2

Product Overview

The 6 ft. x 8 ft. Wood 3-Rail Dog-ear Fence Panel is made from cedar for strength. The panel can be painted or stained for beauty and features a heavy-duty frame to help prevent sagging. The panel is pre-assembled and double-nailed with hot-dipped galvanized fasteners to minimize streaking and add durability.

Info & Guides

You will need Adobe® Acrobat® Reader to view PDF documents. Download a free copy from the Adobe Web site.

Live Chat
Feedback

Get Everything You Need (2)

DeckoRail
4 in. x 4 in. Cedar Victoria
Copper Plateau Wood Flat Po...

★★★½ (28)

PRIVACY FENCE OPTION 2

Fencing Product Type	Wood Fence Panels
Includes	No Additional Items Included
Material	Wood
Nominal panel thickness (in.)	3
Number of pickets for panels	17.0
Number of rails for panels	3.0
Panel Assembly	Assembled Panel
Panel Pattern	Privacy
Product Weight (lb.)	120
Recommended Fastener	Nails
Structure Type	Ornamental,Permanent
Top Shape	Flat
Top Style	Dog-Eared

Warranty / Certifications

Manufacturer Warranty	See store for details

How can we improve our product information? Provide feedback.

Live Chat
Feedback

Customers Who Viewed This Also Viewed

Outdoor Essentials 3-1/2 ft. x 8 ft. Western Red

★★★★ (43)

$96.40

6 ft. x 8 ft. Cedar Doweled Flat-Top Fence Panel

★★★★★ (1)

$89.97

6 ft. H x 8 ft. W Privacy Eastern White Cedar

★★★★ (22)

$89.97

Outdoor Essentials 3-1/2 ft. x 8 ft. Western Red

★★★ (18)

$66.18/package

Specifications

PRIVACY FENCE
OPTION 2

Dimensions

Actual backer rail length (in.)	96.0
Actual backer rail thickness (in.)	1.5
Actual backer rail width (in.)	2.25
Actual panel height (in.)	72
Actual panel thickness (in.)	2.25
Actual panel width (in.)	96
Actual Picket Length (in.)	72
Actual picket thickness (in.)	.625
Actual picket width (in.)	5.5
Nominal backer rail length (in.)	96.0
Nominal backer rail thickness (in.)	2
Nominal backer rail width (in.)	3
Nominal panel height (ft.)	6
Nominal panel width (ft.)	8
Nominal picket length (ft.)	6.0
Nominal picket thickness (in.)	1
Nominal picket width (in.)	6.0

Details

Color Family	Brown
Color/Finish	Wood
Contact Type Allowed	Above Ground
Features	Paintable,Stainable

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Feedback

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Internet #301083395 Model #PWPI-3R5.5SC4x6

Weatherables (Brand Rating: 4.4/5)

Hampshire 4 ft. H x 6 ft. W White Vinyl Picket Fence Panel Kit

★★★★ (1) Questions & Answers (4)

PERIMETER FENCE
OPTION 1 (PREFERRED OPTION)

Live Chat
Feedback

$111.80

PERIMETER FENCE
OPTION 1 (PREFERRED OPTION)

Save up to $100 on your qualifying purchase.
Apply for a Home Depot Consumer Card

Color/Finish: **White**

Nominal Panel Height x Width (ft.): **4 ft x 6 ft**

4 ft x 6 ft | 4 ft x 8 ft

How to Get It

Delivering to: **02048** | Change

Ship to Store
Pickup
Aug 17 - Aug 19
FREE

Ship to Home
Get it by
Wed, Aug 18
FREE

Scheduled Delivery
Not available for this item

We'll send up to **50** to **Mansfield** for free pickup
Curbside pickup available.
Change Store

- 1 +

Add to Cart

— or —

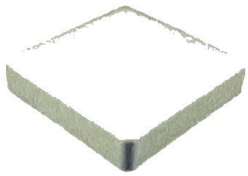
Buy now with PayPal

Frequently Bought Together

Live Chat
Feedback

+ +

PERIMETER FENCE
OPTION 1 (PREFERRED OPTION)



Price for all three:

$167.38

Add all three to cart

- This item: Hampshire 4 ft. H x 6 ft. W White Vinyl Picket Fence Panel Kit
  $111.80
- Weatherables 4 in. x 4 in. x 7 ft. Vinyl Fence End Post
  $46.73
- Weatherables 4 in. x 4 in. White Vinyl External Pyramid Post Cap
  $8.85

Live Chat

Feedback

Product Overview

Add an element of warmth and charm to your yard with the elegant style of the Hampshire vinyl picket fence from Weatherables. The Hampshire vinyl fence will add value to your home for decades to come. Fade resistant and built to last, the Hampshire is produced leveraging our exclusive, engineer-tested manufacturing process and the highest-grade materials to create the strongest, most durable, low-maintenance vinyl fencing anywhere. The notched pickets slide easily into the routed rails to add a charming accent to your outdoor living space. Easy to maintain, you will never need to paint, stain or apply harsh chemicals to clean it. The Hampshire fence is easy to assemble, making it a perfect solution for the do-it-yourself homeowner as well as professional contractors or installers.

Info & Guides

You will need Adobe® Acrobat® Reader to view PDF documents. Download a free copy from the Adobe Web site.

PERIMETER FENCE
OPTION 1 (PREFERRED OPTION)

Shop This Collection from Weatherables (9)

All Items (9) Vinyl Fencing (9)

Weatherables
Hampshire 4 ft. H x 8 ft. W White Vinyl Picket Fence Pan...

★★★★ (1)

$185.02

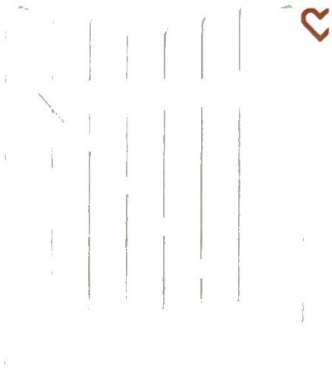
Add To Cart

Weatherables
Hampshire 8 ft. W x 4 ft. H White Vinyl Picket Fence Dou...

★★★★★ (2)

$527.10

Add To Cart



Weatherables
Hampshire 4 ft. W x 4 ft. H White Vinyl Picket Fence Gate.

★★★★★ (2)

$344.13

Add To Cart

Live Chat

Feedback

Get Everything You Need (15)

PERIMETER FENCE
OPTION 1 (PREFERRED OPTION)

Everbilt
Black Decorative Gate Hinge and Latch Set

★★★★ (280)

$22.86

Add To Cart

Weatherables
4 in. x 4 in. White Vinyl New England Post Cap

★★★★★ (11)

$11.01

Add To Cart

Weatherables
Hampshire 4 ft. W x 4 ft. H White Vinyl Picket Fence Gate.

★★★★★ (2)

$344.13

Add To Cart

Live Chat

Feedback

Compare Similar Vinyl Fence Panels

	CURRENT PRODUCT			
Brand	Weatherables	Weatherables	Weatherables	Weatherables
Name	Hampshire 3 ft. H x 6 ft. W White Vinyl Picket Fence Panel Kit	Hampshire 4 ft. H x 6 ft. W White Vinyl Picket Fence Panel Kit	Hampshire 3 ft. H x 8 ft. W White Vinyl Picket Fence Panel Kit	Hampshire 4 ft. H x 8 ft. W White Vinyl Picket Fence Panel Kit
Price	$90.52	$111.80	$136.79	$185.02
Ratings	★★★★ (10)	★★★★ (1)	★★★★ (10)	★★★★ (1)
Nominal				

PERIMETER FENCE
OPTION 1 (PREFERRED OPTION)

Nominal panel height (ft.)				
Panel Pattern				
Nominal panel width (ft.)				
Top Shape				
Top Style				
Features				
Material				
	View Product	View Product	View Product	View Product

Live Chat
Feedback

Specifications

Dimensions

Actual panel height (in.)	48
Actual panel thickness (in.)	1.75
Actual panel width (in.)	72
Nominal panel height (ft.)	4
Nominal panel width (ft.)	6

Details

PERIMETER FENCE
OPTION 1 (PREFERRED OPTION)

Color Family	White
Color/Finish	White
Contact Type Allowed	Ground Contact
Features	UV Protected,Water Resistant
Fencing Product Type	Vinyl Fence Panels
Includes	No Additional Items Included
Material	Vinyl
Nominal panel thickness (in.)	1.75
Number of pickets for panels	11
Number of rails for panels	2
Panel Assembly	Unassembled Panel
Panel Pattern	Spaced Picket
Product Weight (lb.)	23.707
Returnable	90-Day
Top Shape	Scallop
Top Style	Dog-Eared

Live Chat
Feedback

Warranty / Certifications

Manufacturer Warranty	Limited Lifetime

Customers Who Viewed This Also Viewed

Weatherables Hampshire 3 ft. H

Veranda Pro-Series 4 ft. H x 6

Veranda Kettle Scallop 4 ft. H x 8

Veranda Chatham 4 ft. H x 8 ft. W

Veranda Yukon Scallop 4 ft. H x 8

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Internet #206935721 Model #245321

Customers Who Viewed This Also Viewed

PERIMETER FENCE OPTION 2

Outdoor Essentials 3-1/2 ft. x 8 ft. Western Red
★★★ (18)
$66.18/package

Outdoor Essentials 3-1/2 ft. H x 6 ft. W Cedar Spaced
★★★ (12)
$89.24

Barrette 6 ft. x 8 ft. Pressure-Treated Wood Privacy
★★★★½ (2)
$99.00

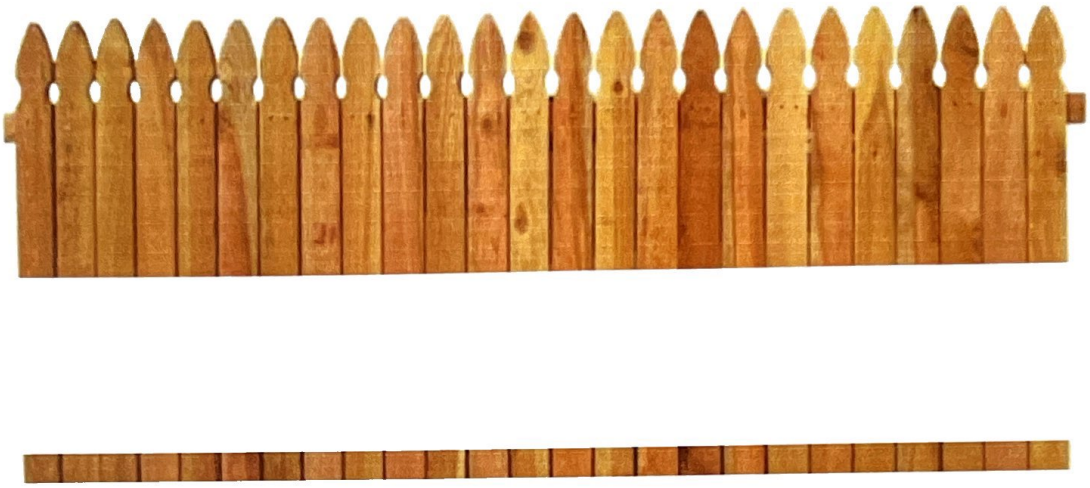
Live Chat
Feedback

Outdoor Essentials

3-1/2 ft. x 8 ft. Western Red Cedar Privacy French Gothic Fence Panel Kit

★★★★ (43) Questions & Answers (28)

PERIMETER FENCE
OPTION 2



$96.40

Live Chat

Feedback

How to Get It

Delivering to: **02048** | Change

Ship to Store
Pickup
Sep 1 - Sep 7
FREE

Ship to Home
Get it by
Fri, Sep 3
FREE

Scheduled Delivery
Not available for this item

We'll send up to **4** to **Mansfield** for free pickup
Curbside pickup available.
Change Store

- 1 +

Add to Cart

— or —

Buy now with PayPal

Frequently Bought Together

+

+

Price for all three:

$143.14

PERIMETER FENCE OPTION 2

Add all three to cart

- This item: 3-1/2 ft. x 8 ft. Western Red Cedar Privacy French Gothic Fence Panel Kit
  $96.40
- Everbilt Black Decorative Gate Hinge and Latch Set
  $22.86
- Everbilt Black Decorative Gate Tee Hinge and Latch Set
  $23.88

Live Chat

Feedback

Product Overview

This Flat Top Privacy Picket Fence Kit is beautiful cedar fencing made easy. This fence panel kit includes everything necessary to build one panel between the posts. The fence panel kits include pickets, backer rails and fence hardware.

Info & Guides

You will need Adobe® Acrobat® Reader to view PDF documents. Download a free copy from the Adobe Web site.

Get Everything You Need (13)

Town of Barnstable
Planning & Development Department
Old King's Highway Historic District Committee
367 Main Street, Hyannis, MA 02601
www.townofbarnstable.us/planninganddevelopment

Elizabeth Jenkins, AICP
Director

SUBMISSION CHECKLIST
for
Certificate of Appropriateness

(1) **Email** one complete application and supporting documentation to
erin.logan@town.barnstable.ma.us

---

(2) **Mail** *or* **drop off** the filing fee, legal ad fee, and postage stamps as noted below

If mailing, please send to: *Town of Barnstable*
Planning & Development Dept.
c/o Erin Logan
367 Main Street
Hyannis, MA 02601

If dropping off, please bring to the Old King's Highway Historic District Committee office located at 367 Main Street, 3rd Floor Planning & Development office, Hyannis.

AT THIS TIME WE ARE ASKING FOR AN ELECTRONIC COPY OF THE APPLICATION AND SUPPORTING DOCUMENTATION ONLY.

Please contact Erin Logan, Administrative Assistant, if you are unable to submit electronically. P 508.862.4787or via email at erin.logan@town.barnstable.ma.us

Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

1. Building construction: ☐ New ☐ Addition ☒ Alteration
2. Type of Building: ☒ House ☐ Garage/barn ☐ Shed ☐ Commercial ☐ Other
3. Exterior Painting, roof ☐ new roof ☒ color/material change, of trim, siding, window, door
4. Sign : ☐ New Sign ☐ Existing Sign ☐ Repainting Existing Sign
5. Structure: ☐ Fence ☐ Wall ☐ Flagpole ☐ Retaining wall ☐ Tennis court ☐ Other
6. Pool ☐ Swimming ☐ Other man-made pool ☐ Solar panels ☐ Other

Type or Print Legibly: Date 8/17/2021

NOTE All applications must be signed by the current owner

Owner (print): Antone Felix Telephone #: 774-281-3887

Address of Proposed Work: 443 Marstons Lane Village Yarmouth Port Map Lot # 348 033

Mailing Address (if different) —

Owner's Signature Antone Felix

Description of Proposed Work: Give particulars of work to be done: Removal of old vinyl siding and trim and replacing with Certainteed Cedar Impressions shingles and trim.

Agent or Contractor (print): Anatoli (Tony) Sivitski Telephone #: 508-469-0102

Address: 27 Mill Pond Rd, West Yarmouth, MA 02673

Contractor/Agent' signature: Anatoli Sivitski

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ **Members signatures** _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) _____

Siding Type: Clapboard ___ shingle ✓ other ____
Material: red cedar ____ white cedar ____ other Vinyl Color: Flagstone

Chimney Material: _____ Color: _____

Roof Material: (make & style) _____ Color: _____

Roof Pitch(s): (7/12 minimum) _____ *(specify on plans for new buildings, major additions)*

Window and door trim material: wood _____ other material, specify _____

Size of cornerboards _____ size of casings (1 X 4 min.) _____ color _____

Rakes Ist member _____ 2nd member _____ Depth of overhang _____

Window: (make/model) _____ material _____ color _____
(Provide window schedule on plan for new buildings, major additions)

Window grills *(please check all that apply_:*
true divided lights ___ exterior glued grills ___ grills between glass ___ removable interior___ None ____

Door style and make: _____ material _____ Color: _____

Garage Door, Style _____ Size of opening _____ Material _____ Color _____

Shutter Type/Style/Material: _____ Color: _____

Gutter Type/Material: _____ Color: _____

Deck material: wood _____ other material, specify _____ Color: _____

Skylight, type/make/model/: _____ material _____ Color: _____ Size: _____

Sign size: _____ Type/Materials: _____ Color: _____

Fence Type (max 6') Style _____ material: _____ Color: _____

Retaining wall: Material: _____

Lighting, freestanding _____ on building _____ illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) Antone Felix Print Name Antone Felix

Town of Barnstable, Old Kings Highway Historic District Committee

CHECKLIST -- CERTIFICATE OF APPROPRIATENESS

Please check the applicable categories; This check list must be completed and submitted with your application.

1. ALTERATIONS (new paint color, changes to siding, roof shingles, windows or door etc.)

- ☒ **Application for Certificate of Appropriateness**, 5 copies.
- ☒ **Spec Sheet**, 4 copies; brochures and color samples.
- ☐ Plans of building elevations/photographs, 5 copies, ONLY if there is a change to the location and size of the window (s) or door (s)

2. MINOR ADDITIONS e.g. decks, shed (over 120 sq. feet)

- ☐ **Application for Certificate of Appropriateness**, 5 copies.
- ☐ **Spec Sheet**, 5 copies; brochures and color samples.
- ☐ **Site Plan**, 5 copies, **ONLY** if there is a change to the building footprint.
  A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, UNLESS the porch, deck, pool, or shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted, see requirements as applicable, see 4. Site Plan, below.
- ☐ **Photographs** of all building elevation affected by any proposed alterations.
- ☐ **Plans:** 5 copies plus 1 at reduced scale to fit 8.5 x 11 or 11 x 17 paper
  Company brochure of manufacturer's shed **OR** to-scale sketch of affected structure or building elevations.

3. STRUCTURES, NEW/ALTERED (fences, new stonewalls or changes to, retaining walls, pools etc)

- ☐ **Application for Certificate of Appropriateness**
- ☐ **Spec Sheet**, brochures or diagram.
- ☐ **Site plan**, see Instructions 2. Site Plan, above.
- ☐ **Photographs** of any existing structure that will be affected by change.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING

- ☐ **Application for Certificate of Appropriateness** (5 copies).
- ☐ **Spec Sheet,** 5 copies, brochures and samples of colors.
- ☐ **Site Plan,** 5 copies, at an appropriate scale. & 5 copies of site plans at reduced scaled to fit 8.5"X11 or 11X17 paper

  Site Plans shall contain the following:
  - ☐ Name of applicant, street location, map and parcel.
  - ☐ Name of architect, engineer or surveyor; original stamp and signature; date of plan and revision dates.
  - ☐ North arrow, written and drawn scale.
  - ☐ Changes to existing grades shown with one-foot contours.
  - ☐ Proposed and existing footprint of the building and/or structures, and distance to lot lines.
  - ☐ Proposed driveway location.
  - ☐ Proposed limits of clearing for building(s), accessory structure(s), driveway and septic system.
  - ☐ Retaining walls or accessory structures (e.g. pool, tennis court, cabanas, barn, garage etc.)

  - ☐ **Building Elevations:**
    - o 5 copies of plans at a scale of ¼" = 1 foot; a written and drawn scale.
    - o 5 copies of plans at a reduced scale to fit 8.5"x 11 or 11 x 17 paper.

Plans shall include the following:

- ☐ Name of applicant, street location, map and parcel.
- ☐ Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- ☐ A written and bar drawn scale
- ☐ Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- ☐ Window schedule on plans.
- ☐ **Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:
  - o Name of applicant, street address, assessor's map and parcel number.

    Name address and telephone number of the plan preparer, plan date, & dates of revisions
  - ☐ The location of existing and proposed buildings and structures, and lot lines.
  - ☐ Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
  - ☐ Existing buffer areas to remain.
  - ☐ Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
  - ☐ The location, number, size and name of proposed new trees and plants.
  - ☐ Driveway, parking areas, walkways, and patios indicating materials to be used.
  - ☐ Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
  - ☐ All proposed exterior lighting and signs.

☐ **Sketch or photos of adjacent properties,** (1 copy only)

A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.

☐ **Photographs of all sides of existing buildings** to remain, or being added to .

Please complete the following:

Existing building, foot print:
Building 1 _____ sq. ft. Building 2 _____
Existing Building, gross floor area, including area of finished basement:
Building 1 _____ sq. ft. Building 2 _____
New building or addition, foot print:
Building 1 _____ sq. ft. Building 2 _____
New Building or addition, gross floor area, including area of finished basement:
Building 1 _____ sq. ft. Building 2 _____

5. SIGNS

- ☐ Diagram of sign, showing graphics, size, design and height of post, color and materials.
- ☐ Spec sheet.
- ☐ Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- ☐ Drawing of location of panels on house showing roof and panel dimensions.
- ☐ Site plan showing location of building on property. (Assessors map may be submitted)
- ☐ Height of solar panel above the roof.
- ☐ Color of panels
- ☐ Finish (matt or glossy)

7. FEES

- ☐ **Fees** according to schedule, made payable to the Town of Barnstable
- ☐ $19.84 made payable to the Barnstable Patriot for the required legal ad notification
- ☐ **First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) Antone Felix Print ANTONE FELIX

Date: 8/17/2021 Tel. Phone no's: 774-281-3887

Email lyn4tony@gmail.com

NOTE: *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

ATTENDANCE AT MEETINGS: *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

APPEAL PERIOD APPROVED PLANS PLAN PICK UP

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Growth Management, Regulatory Division, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.
Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038
Conservation Division 508-862-4093 Health Division 508-862-4644

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 348033

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
348021	CORRIVEAU, CLAUDE R & LUCILLE		PO BOX 284		YARMOUTH PORT	MA	02675
348022	BOLTON, JOANNE L	%BOLTON, JOANNE L TR	442 MARSTONS LANE		CUMMAQUID	MA	02637
348023	MARICHAL, JUAN & SVETLANA		182 PITCHERS WAY		HYANNIS	MA	02601
348024	FALLS, ARLINE J		PO BOX 324		CUMMAQUID	MA	02637
348025	CHABOT, GARY A & COGGIN, ELINOR L		P O BOX 357		CUMMAQUID	MA	02637
348032	DOYLE, FRANCIS E &	BAXTER-MORAN, ALVINA TRS	PO BOX 620		WEST HYANNISPORT	MA	02672
348033	FELIX, ANTONE C III & DEVANEY, LYNN A		443 MARSTONS LANE		YARMOUTH PORT	MA	02675
348034	NAKACHI, CHRISTIE A		489 MARSTONS LANE		CUMMAQUID	MA	02637

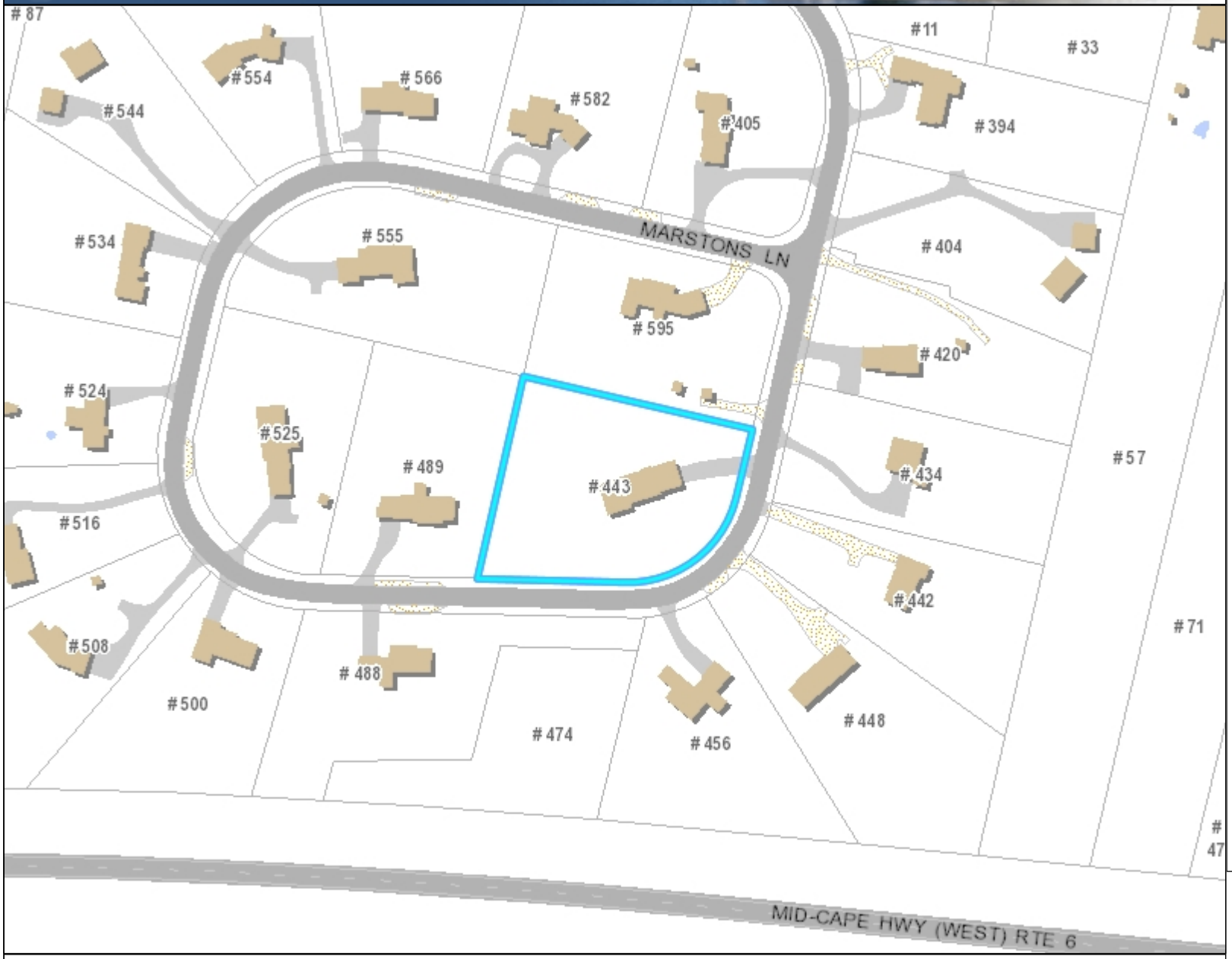
Total Number of Abutters: 8

Report Generated On: 8/29/2021 9:48 PM

This list by itself does NOT constitute a "Certified List of Abutters" and is provided only as an aid to the determination of abutters. If a Certified Abutter List is required, you must contact the Assessing Division to have this list certified.

TOWN OF BARNSTABLE

PROPERTY MAPS



Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - Bridge
  - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 9/1/2021

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

TOWN OF BARNSTABLE

PROPERTY MAPS

Legend

Road Names

Map printed on: 9/1/2021

0 83 167 Feet

Approx. Scale: 1 inch = 83 feet

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06/17/2013

06/17/2013

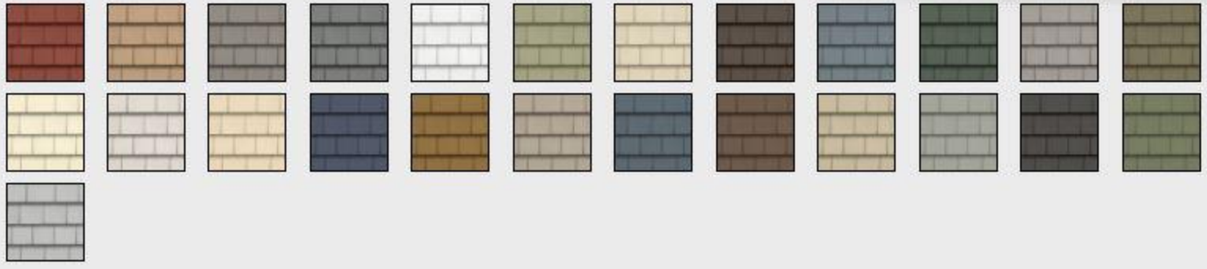
FLAGSTONE

CEDAR IMPRESSIONS® TRIPLE 5" STRAIGHT EDGE SAWMILL SHINGLES

PRODUCTS AVAILABLE NEAR ZIP CODE:

ENTER ZIP CODE

PLEASE ENTER YOUR ZIP CODE TO VIEW PRODUCTS AVAILABLE IN



VISUALIZE YOUR HOME

ARCHITECT BINDER

GET AN ESTIMATE

Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

1. Building construction: ☑ New ☐ Addition ☐ Alteration
2. Type of Building: ☐ House ☑ Garage/barn ☐ Shed ☐ Commercial ☐ Other
3. Exterior Painting, roof ☐ new roof ☐ color/material change, of trim, siding, window, door
4. Sign : ☐ New Sign ☐ Existing Sign ☐ Repainting Existing Sign
5. Structure: ☐ Fence ☐ Wall ☐ Flagpole ☐ Retaining wall ☐ Tennis court ☐ Other
6. Pool ☐ Swimming ☐ Other man-made pool ☐ Solar panels ☐ Other

Type or Print Legibly: Date 08.16.2021

NOTE All applications must be signed by the current owner

Owner (print): ERIC & JESSICA GREEN Telephone #: 617-529-6674

Address of Proposed Work: 1536 HYANNIS ROAD Village YES Map Lot # 298/ PARCEL 021/001

Mailing Address (if different)

Owner's Signature

Description of Proposed Work: Give particulars of work to be done: CONSTRUCT A NEW SINGLE CAR GARAGE, WITH ATTACHED POOL CABANA WITH BATH.

Agent or Contractor (print): BRIAN BURBIC Telephone #: 508.325.2252

Address: P.O. BOX 706, BARNSTABLE, MA. 02630

Contractor/Agent' signature:

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date **Members signatures**

Conditions of approval

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) POURED CONCRETE.

Siding Type: Clapboard ___ shingle ✓ other ___
Material: red cedar ___ white cedar ___ other ___ Color: NATURAL

Chimney Material: NONE Color: —

Roof Material: (make & style) CERTAINTEED LANDMARK PRO Color: PEWTERWOOD MATCHES NEW HOUSE

Roof Pitch(s): (7/12 minimum) 12/12 *(specify on plans for new buildings, major additions)*

Window and door trim material: wood ___ other material, specify AZEK PVC TRIM.

Size of cornerboards 6" size of casings (1 X 4 min.) 4" color WHITE

Rakes Ist member 1X8" 2nd member 1X3" Depth of overhang NONE

Window: (make/model) ANDERSEN material CLAD color EBONY / BLACK
(Provide window schedule on plan for new buildings, major additions)

Window grills *(please check all that apply_:* SDL, FULL DIVIDED LIGHT
true divided lights ___ exterior glued grills ✓ grills between glass ___ removable interior___ None ___

Door style and make: THERMA-TRU material FIBERGLASS Color: BLACK

Garage Door, Style CUSTOM OVERHEAD 6". V-GROOVE CEDAR Size of opening 9'X8'-6" Material CEDAR Color BLACK.

Shutter Type/Style/Material: NONE Color: —

Gutter Type/Material: ALUMINUM Color: WHITE

Deck material: wood — other material, specify — Color: —

Skylight, type/make/model/: NONE material — Color: — Size: —

Sign size: NONE Type/Materials: — Color: —

Fence Type (max 6') Style — material: — Color: —

Retaining wall: Material: NONE

Lighting, freestanding NONE on building — illuminating sign —

OTHER INFORMATION: ___

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) [signature] Print Name ROBERT YOURELL
BEACHWOOD DESIGN L.L.C.

Town of Barnstable, Old Kings Highway Historic District Committee

CHECKLIST -- CERTIFICATE OF APPROPRIATENESS

Please check the applicable categories; This check list must be completed and submitted with your application.

1. ALTERATIONS (new paint color, changes to siding, roof shingles, windows or door etc.)

Application for Certificate of Appropriateness, 5 copies.
Spec Sheet, 4 copies; brochures and color samples.
Plans of building elevations/photographs, 5 copies, ONLY if there is a change to the location and size of the window (s) or door (s)

2. MINOR ADDITIONS e.g. decks, shed (over 120 sq. feet)

- ☐ **Application for Certificate of Appropriateness**, 5 copies.
- ☐ **Spec Sheet**, 5 copies; brochures and color samples.
- ☐ **Site Plan**, 5 copies, **ONLY** if there is a change to the building footprint.
  A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, UNLESS the porch, deck, pool, or shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted, see requirements as applicable, see 4. Site Plan, below.
- ☐ **Photographs** of all building elevation affected by any proposed alterations.
- ☐ **Plans:** 5 copies plus 1 at reduced scale to fit 8.5 x 11 or 11 x 17 paper
  Company brochure of manufacturer's shed **OR** to-scale sketch of affected structure or building elevations.

3. STRUCTURES, NEW/ALTERED (fences, new stonewalls or changes to, retaining walls, pools etc)

- ☐ **Application for Certificate of Appropriateness**
- ☐ **Spec Sheet**, brochures or diagram.
- ☐ **Site plan**, see Instructions 2. Site Plan, above.
- ☐ **Photographs** of any existing structure that will be affected by change.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING

- ☑ **Application for Certificate of Appropriateness** (5 copies).
- ☐ **Spec Sheet**, 5 copies, brochures and samples of colors.
- ☑ **Site Plan**, 5 copies, at an appropriate scale. & 5 copies of site plans at reduced scaled to fit 8.5"X11 or 11X17 paper

  Site Plans shall contain the following:
  - ☑ Name of applicant, street location, map and parcel.
  - ☑ Name of architect, engineer or surveyor; original stamp and signature; date of plan and revision dates.
  - ☑ North arrow, written and drawn scale.
  - ☑ Changes to existing grades shown with one-foot contours.
  - ☑ Proposed and existing footprint of the building and/or structures, and distance to lot lines.
  - ☑ Proposed driveway location.
  - ☑ Proposed limits of clearing for building(s), accessory structure(s), driveway and septic system.
  - ☑ Retaining walls or accessory structures (e.g. pool, tennis court, cabanas, barn, garage etc.)

  ☑ **Building Elevations:**
  - ☑ 5 copies of plans at a scale of ¼" = 1 foot; a written and drawn scale.
  - ☑ 5 copies of plans at a reduced scale to fit 8.5"x 11 or 11 x 17 paper.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - *CONTINUED*

Plans shall include the following:

- ☑ Name of applicant, street location, map and parcel.
- ☑ Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.
- ☑ A written and bar drawn scale
- ☑ Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.
- ☑ Window schedule on plans.
- ☑ **Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:
  - Name of applicant, street address, assessor's map and parcel number.
    Name address and telephone number of the plan preparer, plan date, & dates of revisions
  - ☑ The location of existing and proposed buildings and structures, and lot lines.
  - ☑ Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).
  - ☑ Existing buffer areas to remain.
  - ☑ Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.
  - ☑ The location, number, size and name of proposed new trees and plants.
  - ☑ Driveway, parking areas, walkways, and patios indicating materials to be used.
  - ☑ Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).
  - ☐ All proposed exterior lighting and signs.

☐ **Sketch or photos of adjacent properties,** (1 copy only)

A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.

☑ **Photographs of all sides of existing buildings** to remain, or being added to . NEW HOUSE ON FILE.

Please complete the following:

Existing building, foot print:
Building 1 Ø sq. ft. Building 2 –
Existing Building, gross floor area, including area of finished basement:
Building 1 Ø sq. ft. Building 2 –
New building or addition, foot print:
Building 1 899 sq. ft. Building 2 –
New Building or addition, gross floor area, including area of finished basement:
Building 1 899 sq. ft. Building 2 –

5. SIGNS

- ☐ Diagram of sign, showing graphics, size, design and height of post, color and materials.
- ☐ Spec sheet.
- ☐ Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- ☐ Drawing of location of panels on house showing roof and panel dimensions.
- ☐ Site plan showing location of building on property. (Assessors map may be submitted)
- ☐ Height of solar panel above the roof.
- ☐ Color of panels
- ☐ Finish (matt or glossy)

7. FEES

- ☐ **Fees** according to schedule, made payable to the Town of Barnstable
- ☐ $19.84 made payable to the Barnstable Patriot for the required legal ad notification
- ☐ **First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) Robert Yourell Print ROBERT YOURELL

Date: 8.16.2021 Tel. Phone no's: 508.789.7308

Email ryourell@verizon.net

NOTE: *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

ATTENDANCE AT MEETINGS: *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

APPEAL PERIOD **APPROVED PLANS** **PLAN PICK UP**

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Growth Management, Regulatory Division, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway District Commission.

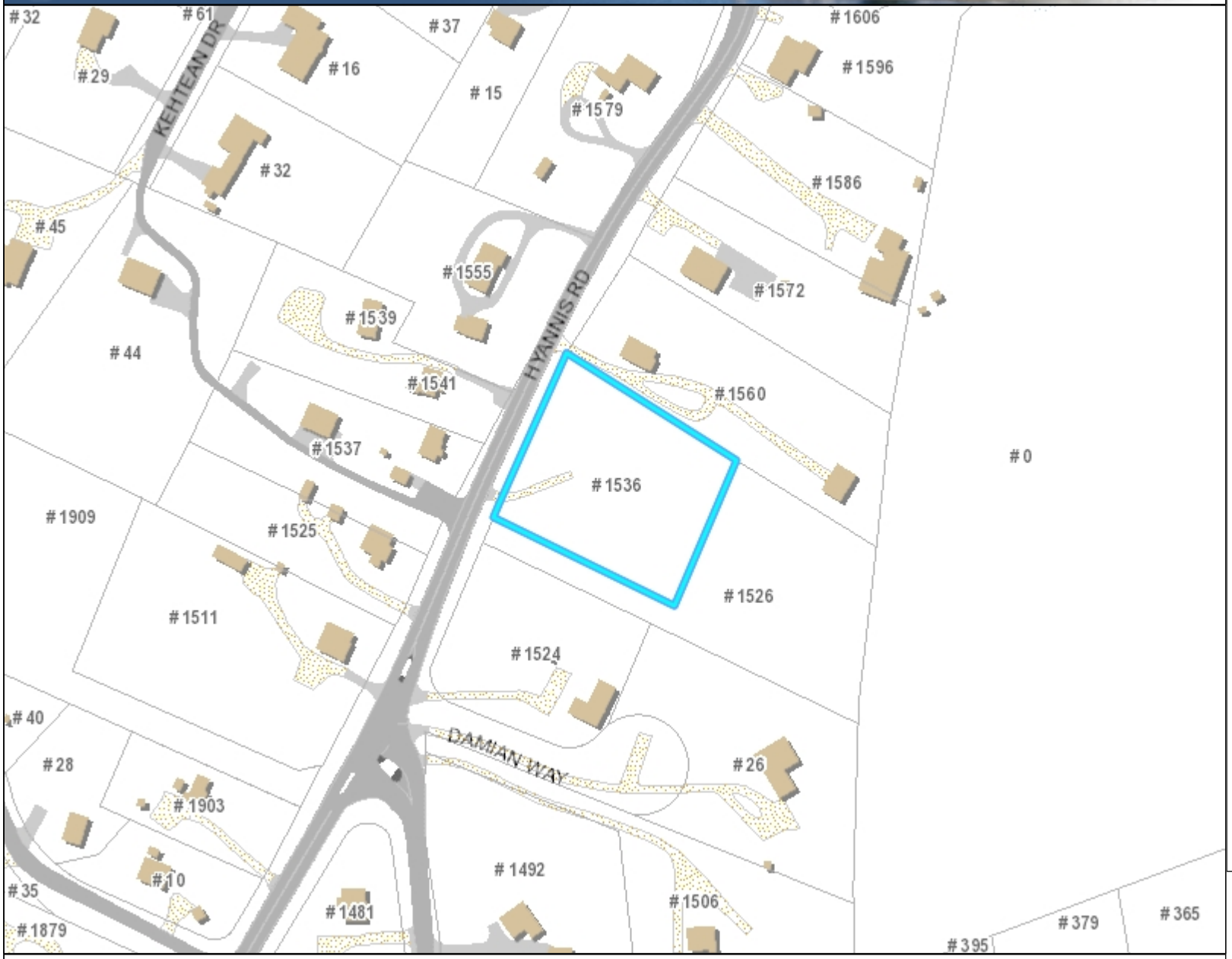
BUILDING PERMITS, OTHER AGENCY CONTACTS

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.
Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038
Conservation Division 508-862-4093 Health Division 508-862-4644

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787

TOWN OF BARNSTABLE

PROPERTY MAPS



Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - Bridge
  - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 9/1/2021

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet

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Town of Barnstable GIS Unit

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TOWN OF BARNSTABLE

PROPERTY MAPS

Legend

Road Names

Map printed on: 9/1/2021

0 83 167 Feet

Approx. Scale: 1 inch = 83 feet

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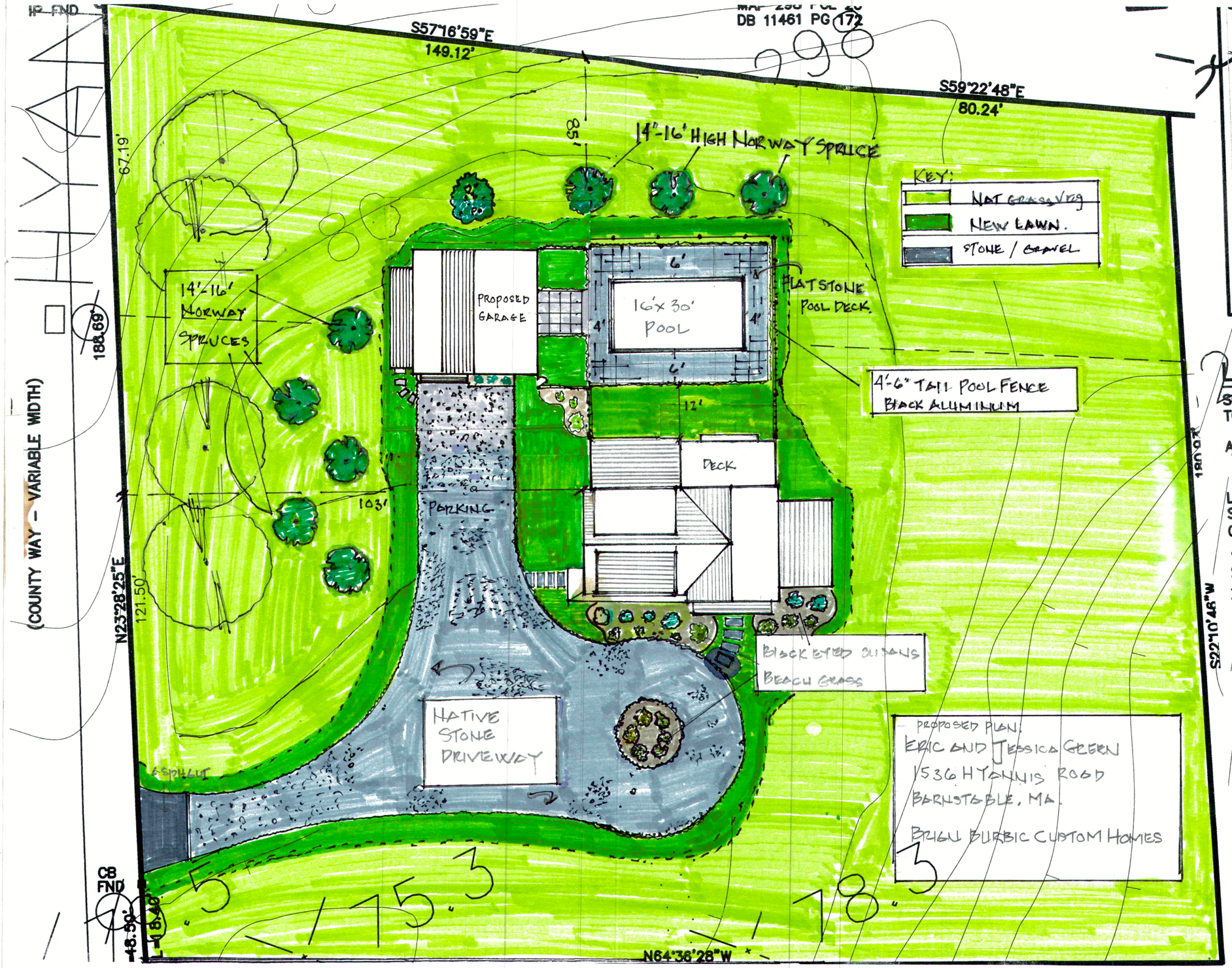
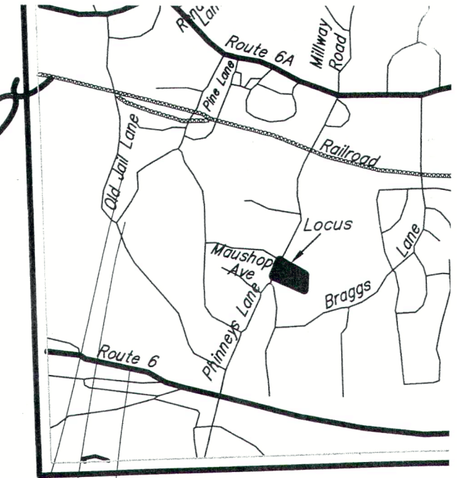




LOCUS MAP

SCALE 1"=2000'±
TOTAL AREA: 1.01 ACRES
ASSESSORS MAP 298 PARCEL: 021/001

LOCUS IS WITHIN FEMA FLOOD ZONE SHOWN ON COMMUNITY PANEL #2500 0005 C DATED 8/19/1985

ZONING SUMMARY

ZONING DISTRICT: RF-1 DISTRICT

	REQUIRED:
MIN. LOT SIZE	43,560 S.F.
MIN. LOT FRONTAGE	20'
MIN. FRONT SETBACK	30'
MIN. SIDE SETBACK	15'
MIN. REAR SETBACK	15'

SITE IS LOCATED WITHIN THE WELLH PROTECTION DISTRICT

SITE IS LOCATED WITHIN THE BARNS FIRE DISTRICT

SITE IS LOCATED WITHIN THE OLD K HIGHWAY HISTORIC DISTRICT

Scale: 1"= 20'

0 10 20 30 40

GREEN: GARAGE / POOL HOUSE WINDOW & DOOR SCHEDULE

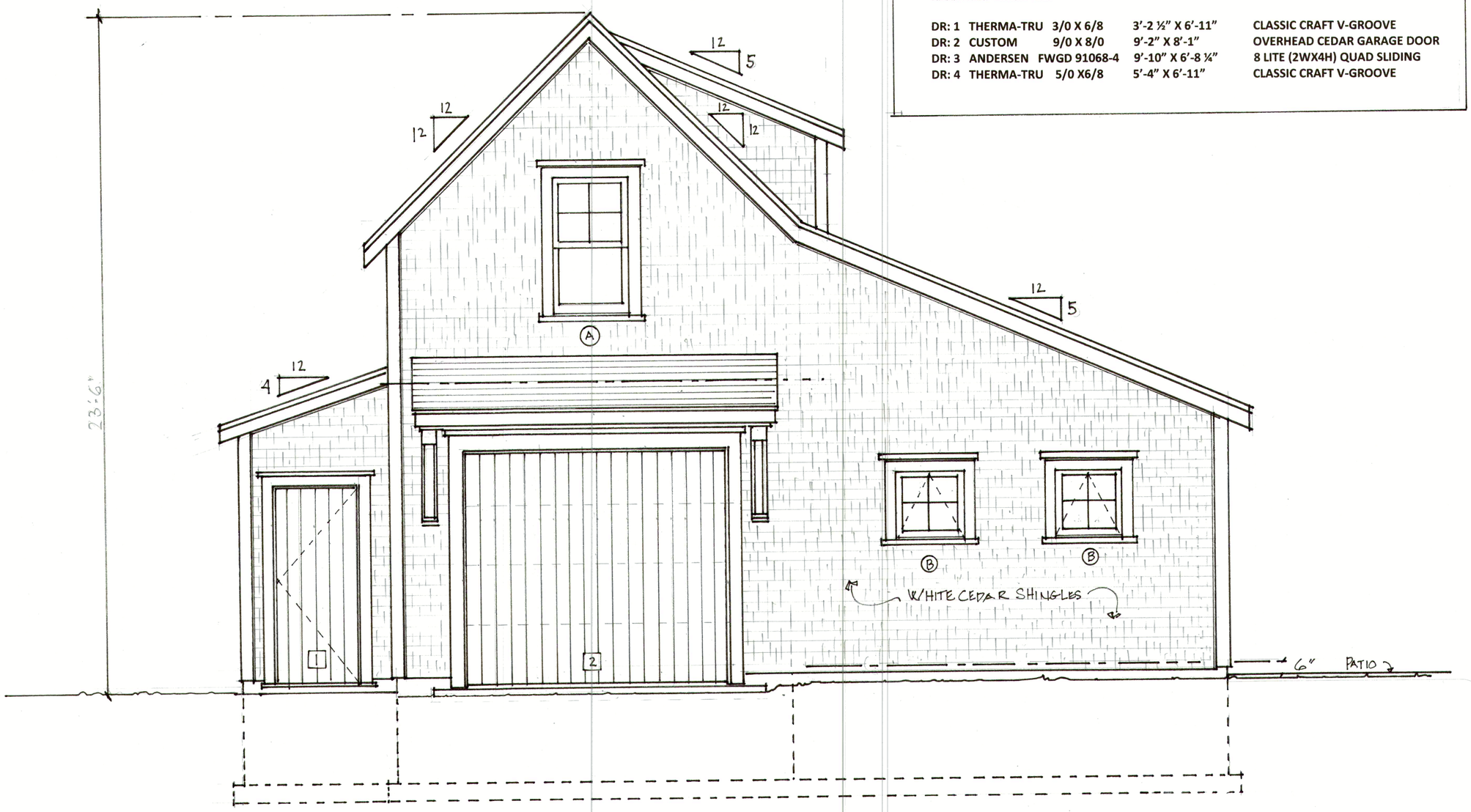
1536 HYANNIS ROAD
BARNSTABLE, MA

ANDERSEN 400 SERIES WINDOWS: 6-9/16" JAMBS, EBONY EXTERIOR, WHITE PRE-FINISHED INTERIOR, LOW E 4 GLASS, 3/4" FULL DIVIDED LIGHT WITH SPACER BAR, WHITE HARDWARE, FULL INSECT SCREEN, AWNING UNITS HAVE ALUMINUM WHITE INTERIOR SCREEN, TRADITIONAL HARDWARE.

UNIT:	MFG:	MODEL:	ROUGH OPENING:	SPECS:
A	ANDERSEN	TW2446	2'-6 1/8" X 4'-9"	4/1 DH
B	ANDERSEN	AW 251	2'-4 7/8" X 2'-5"	AWNING 4 LITE (2WX2H)
C	ANDERSEN	TW 2442	2'-6 1/8" X 4'-5"	4/1 DH
D	ANDERSEN	A 31	3'-0 1/2" X 2'-1"	AWNING 3 LITE (3WX1H)
E	ANDERSEN	AW 31	3'- 0 ½" X 2'-5"	AWNING 3 LITE (3WX1H)

ANDERSEN "A" SERIES DOOR: 6-9/16" JAMB, EBONY EXTERIOR, PRE-FINISHED WHITE INTERIOR, LOW E 4 GLASS, 3/4" FULL DIVIDED LIGHT WITH SPACER BAR, 8 LITE 2WX4H, SLIDING INSECT SCREEN, HARDWARE FINISH TBD.

DR: 1	THERMA-TRU	3/0 X 6/8	3'-2 ½" X 6'-11"	CLASSIC CRAFT V-GROOVE
DR: 2	CUSTOM	9/0 X 8/0	9'-2" X 8'-1"	OVERHEAD CEDAR GARAGE DOOR
DR: 3	ANDERSEN	FWGD 91068-4	9'-10" X 6'-8 ¼"	8 LITE (2WX4H) QUAD SLIDING
DR: 4	THERMA-TRU	5/0 X6/8	5'-4" X 6'-11"	CLASSIC CRAFT V-GROOVE



FRONT ELEVATION
1536 HYANNIS ROAD GARAGE | POOL HOUSE

3/8" = 1'-0" SCALE

6" 2'-0" 4'-0" 8'-0"

R. YAURELL

3/8" = 1'-0"

BEACHWOOD DESIGN GROUP L.L.C.

BRIAN BURBIC CUSTOM HOMES

C.S.L. # 104145 / HIC. 174645

FRONT ELEVATION

3/8" = 1'-0"

MAP: 298

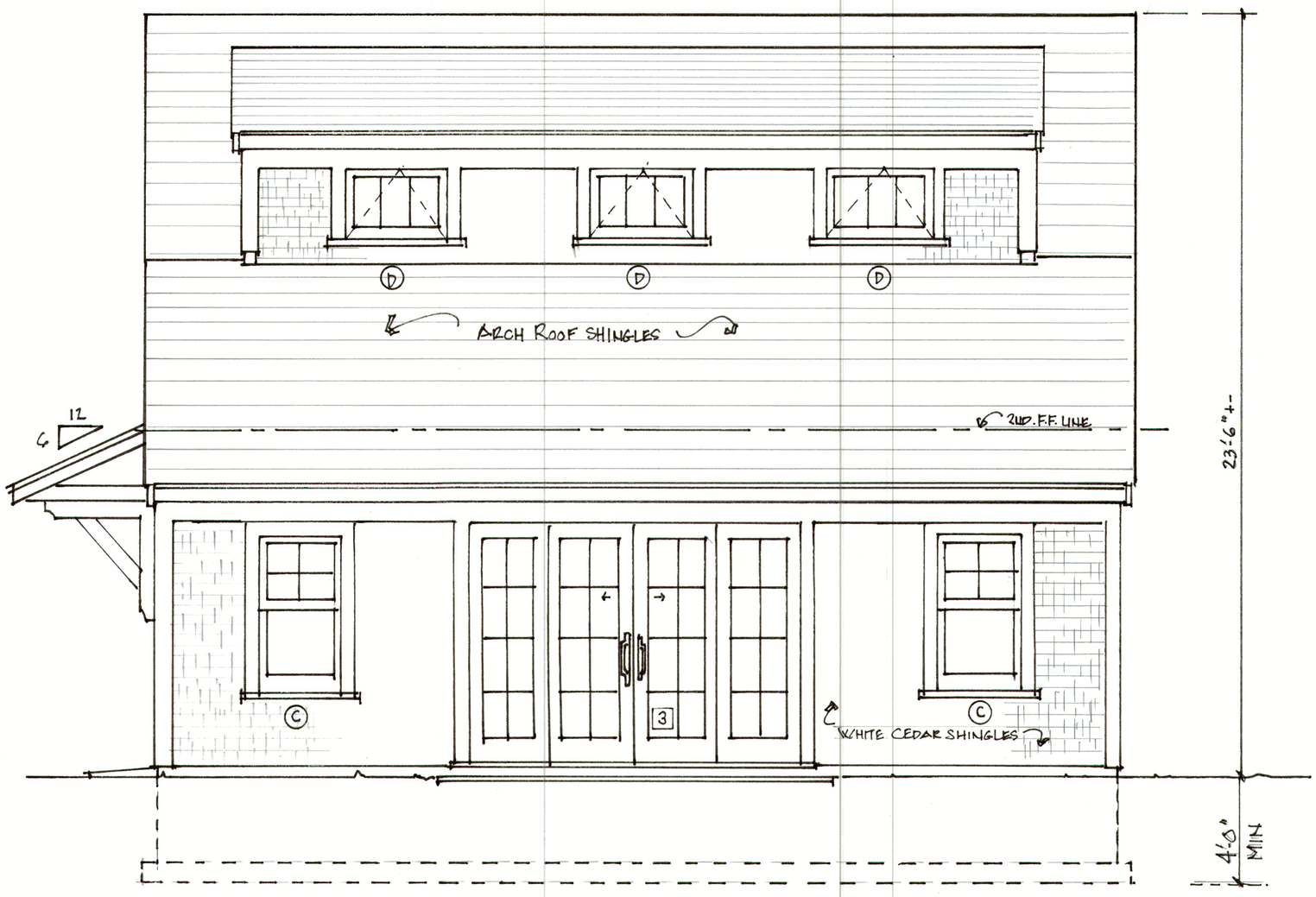
PARCEL 021/001

PROPOSED NEW GARAGE / POOL HOUSE FOR:

ERIC AND JESSICA GREEN

1536 HYANNIS ROAD

BARNSTABLE, MA

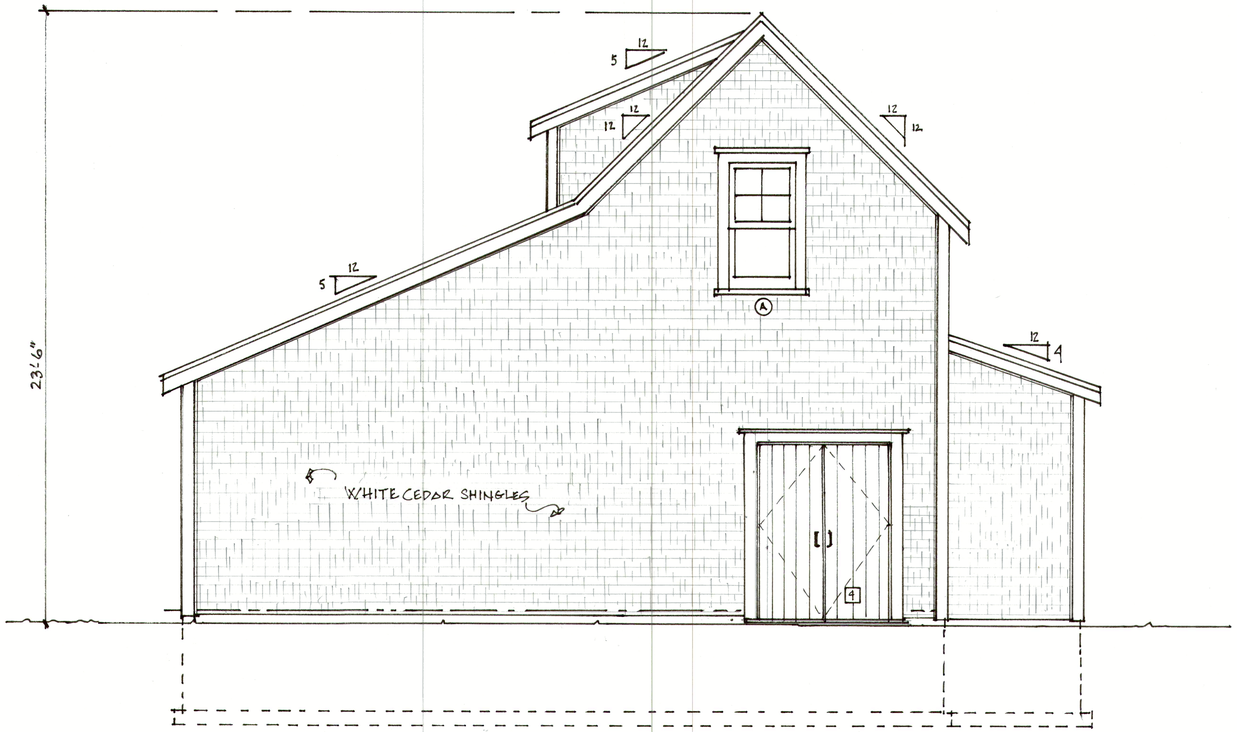


RIGHT ELEVATION | POOL SIDE

1536 HYANNIS ROAD.

3/8" = 1'-0" SCALE

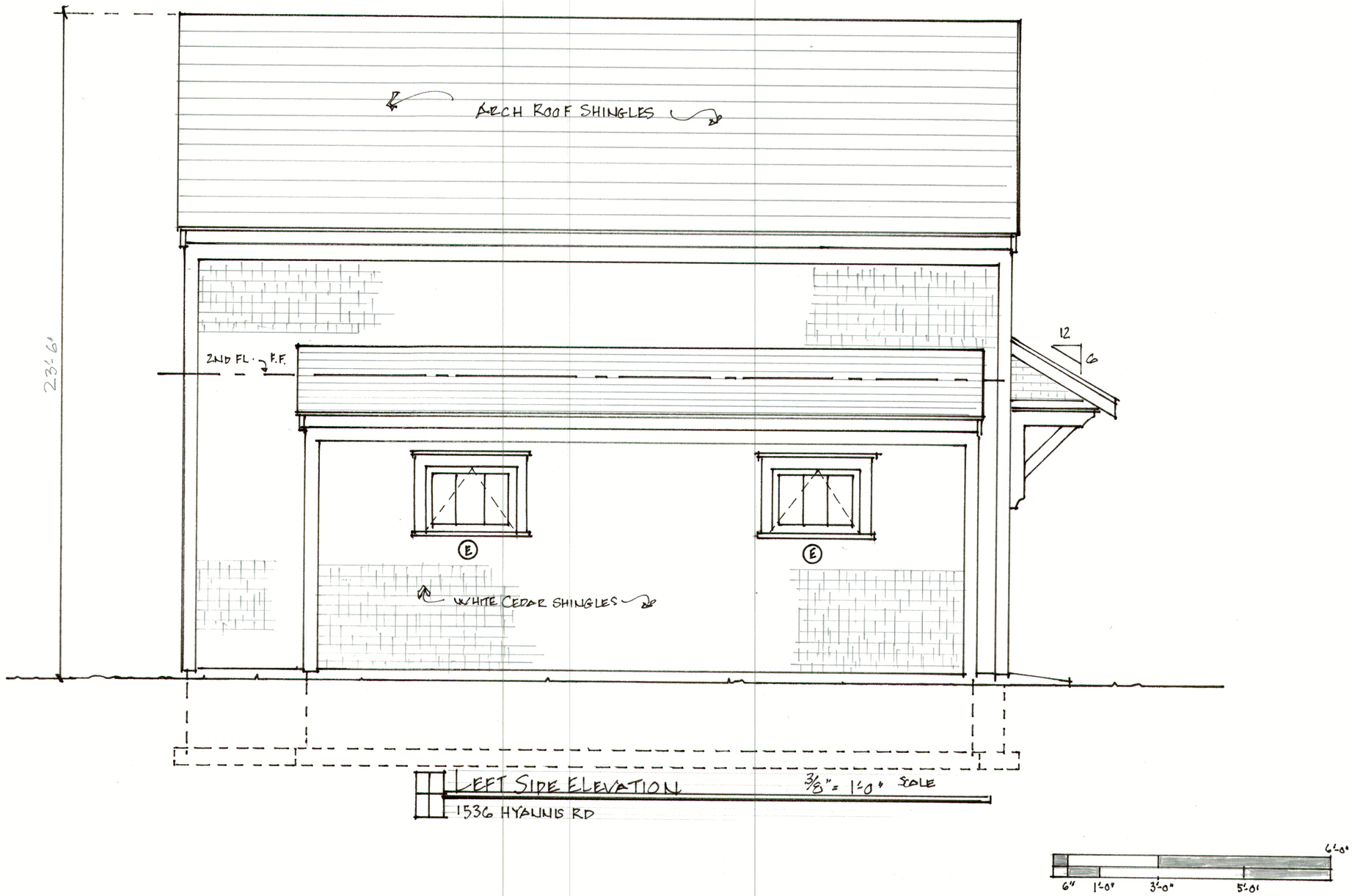
PROPOSED NEW GARAGE / POOL HOUSE FOR:	BEACHWOOD DESIGN GROUP L.L.C.
ERIC AND JESSICA GREEN	BRIAN BURBIC CUSTOM HOMES
1536 HYANNIS ROAD	C.S.L. #104145 / H.I.C. #174645
BARNSTABLE, MA	RIGHT SIDE ELEVATION 3/8" = 1'-0"
MAP: 298	R. YOUNELL
PARCEL: 021/001	3/8" = 1'-0"



REAR ELEVATION 3/8" = 1'-0"
1536 HYANNIS ROAD

PROPOSED NEW GARAGE / POOLHOUSE FOR:	
ERIC AND JESSICA GREEN	MAP: 298
1536 HYANNIS ROAD	PARCEL 021/001
BARNSTABLE, MA.	

BEACHWOOD DESIGN GROUP L.L.C.	R.T.
BRIAN BUBRIC CUSTOM HOMES	3/8" = 1'-0"
CSL # 104145 / HIC 174645	
REAR ELEVATION	3/8" = 1'-0"



LEFT SIDE ELEVATION 3/8" = 1'-0" SCALE

1536 HYANNIS RD

PROPOSED NEW GARAGE / POOL HOUSE FOR:	BEACHWOOD DESIGN GROUP L.L.C.
ERIC AND JESSICA GREEN	BRIAN BURBIC CUSTOM HOMES
1536 HYANNIS ROAD	C.S.L. # 104145 / H.I.C. 179645
BARNSTABLE, MA.	LEFT SIDE ELEVATION 3/8" = 1'-0"
MAP: 298 PARCEL 021/001	R.Y. 3/8" = 1'-0"

Town of Barnstable, Planning & Development Department
Old King's Highway Historic District Committee
200 Main Street, Hyannis, Massachusetts 02601
Phone 508.862.4787 Email erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS FOR **DEMOLITION OR RELOCATION** OF A BUILDING OR STRUCTURE

(including partial demolitions of buildings, structures; outbuildings, stonewalls, etc.)

Application is hereby made, with four (4) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application:

Date: 8/17/21 Address of Proposed work: Assessors Map and lot # 301 / 027

House # 95 Street Sunset Lane Village: Barnstable

Demolition of: ☑ house ☐ part of house ☐ Garage ☐ barn ☐ stable ☐ commercial ☐ stone wall ☐ other

Description of Proposed Work: Demolition of existing structure & replacement w/ 5 bedroom, 4.5 bath, 1-car garage cape style home

If application is for removal to a different location, state where: _____

Please complete the following information:

Square footage of footprint of building(s) to be demolished: Building 1: 3,588sf 2: _____

Square footage of total floor area of building(s) to be demolished: Building 1: 3,588sf 2: _____

Owner:

Owner (please print): Prudence Pigott Tel #: 508-771-1040

Owner's mailing address: 95 Sunset Lane, Barnstable

Signature of Owner: _____

Note: All applications must be signed by the owner, or evidence of authority to act for the owner submitted

Contractor:

Agent/Contractor (please print): Bayside Building Tel #: 774-487-0475

Address: PO Box 95, Centerville, MA

Signature of Contractor/Agent: _____

For Committee Use Only

This Certificate is hereby ***APPROVED/DENIED*** Date: _____

Committee Members Signatures: _____

Conditions of approval: _____

APPLICATION, CERTIFICATE OF APPROPRIATENESS FOR

DEMOLITION OR RELOCATION OF A BUILDING OR STRUCTURE

(including partial demolitions of buildings, structures; outbuildings, stonewalls, etc.)

Check list

- ☐ Application for Certificate of Appropriateness for Demolition or Removal, 4 copies
- ☐ Site plan, 4 copies,
- ☐ Photographs of all elevations of building(s), outbuilding(s) or stone walls being demolished.
- ☐ $120 application fee, made payable to the Town of Barnstable
- ☐ $19.84 Legal Ad fee, made payable to the Town of Barnstable
  Kindly note the filing fee and legal ad fee need to be on separate checks
- ☐ 1st Class Postage Stamps (contact OKH Admin for count) _____

Note: A separate Certificate of Appropriateness is required for a relocation of a building or structure within the Barnstable Old Kings Highway Historic District.

All certificates issued will expire one year from the date of issue, or upon the expiration date of any building permit issued for the work, whichever expiration date shall be later. The committee may renew any certificate for one additional year, providing the request for such renewal is received at least 30 days prior to the expiration date.

TOWN OF BARNSTABLE

OLD KING'S HIGHWAY HISTORIC DISTRICT COMMITTEE

STATEMENT OF UNDERSTANDING

As property owner/contractor/agent for the construction at:

301/027 — Map/Parcel
Ø95 — Number
Sunset Lane — Street
Barnstable — Village

Only minor changes may be approved by the Committee without a new application and a hearing. Minor changes include things like moving a single window or door or a minor change of color. All changes by amendment require the Committee's written approval.

A request for change must be submitted to the Committee in writing. Approval must be obtained before incorporating the change into the project.

For more than one revision to approved plans, a new application for a Certificate of Appropriateness must be applied for. Failure to comply with approved plans may result in the Building Department issuing a stop work order or denying an Occupancy Permit.

I HAVE READ AND UNDERSTAND THE ABOVE STATEMENTS

8/17/21
Date

Signed: _____
Applicant / Applicant's Representative

Signed: _____
Paul Richard, Chair, Old King's Highway

Barnstable Old Kings Highway Historic District Committee

200 Main Street, Hyannis, MA 02601, Tel 508.862.4787 Eml erin.logan@town.barnstable.ma.us

APPLICATION, CERTIFICATE OF APPROPRIATENESS

Application is hereby made, with five (5) complete sets, for the issuance of a Certificate of Appropriateness under Section 6 of Chapter 470, Acts and Resolves of Massachusetts, 1973, for proposed work as described below and on plans, drawings, or photographs accompanying this application for:

Check all categories that apply;

1. Building construction: ☑ New ☐ Addition ☐ Alteration
2. Type of Building: ☑ House ☐ Garage/barn ☐ Shed ☐ Commercial ☐ Other
3. Exterior Painting, roof ☑ new roof ☐ color/material change, of trim, siding, window, door
4. Sign : ☐ New Sign ☐ Existing Sign ☐ Repainting Existing Sign
5. Structure: ☐ Fence ☐ Wall ☐ Flagpole ☐ Retaining wall ☐ Tennis court ☐ Other
6. Pool ☐ Swimming ☐ Other man-made pool ☐ Solar panels ☐ Other

Type or Print Legibly: Date 8/17/21

NOTE All applications must be signed by the current owner

Owner (print): Prudence Pigott Telephone #: 508-771-1040

Address of Proposed Work: 95 Sunset Lane Village Barnstable Map Lot # 301/027

Mailing Address (if different) "

Owner's Signature Prudence Pigott

Description of Proposed Work: Give particulars of work to be done: Construct a 5 bedroom 4.5 bath cape gambrel style home w/ an attached 1-car garage

Agent or Contractor (print): Bayside Building Telephone #: 508-771-1040

Address: PO Box 95, Centerville, MA 02632

Contractor/Agent' signature: [illegible]

For committee use only **This Certificate is hereby APPROVED / DENIED**

Date _____ **Members signatures** _____

Conditions of approval _____

CERTIFICATE OF APPROPRIATENESS SPEC SHEET Please submit 5 copies

Foundation Type: (Max. 12" exposed) (material - brick/cement, other) Concrete

Siding Type: Clapboard ___ shingle ✓ other ___
Material: red cedar ___ white cedar ✓ other _____ Color: _____

Chimney Material: N/A Color: _____

Roof Material: (make & style) P.T. Tapersawn Red Cedar Color: Natural

Roof Pitch(s): (7/12 minimum) 7/12 *(specify on plans for new buildings, major additions)*

Window and door trim material: wood _____ other material, specify Azek

Size of cornerboards Woven size of casings (1 X 4 min.) 1x5 color White

Rakes Ist member 1x10 2nd member Crown Depth of overhang 4-5"

Window: (make/model) Anderson material Vinyl color White
(Provide window schedule on plan for new buildings, major additions)

Window grills *(please check all that apply_:*
true divided lights ✓ exterior glued grills ___ grills between glass ___ removable interior___ None _____

Door style and make: Co-Panel material Fiberglass Color: Hale Navy

Garage Door, Style 12-lite/4-panel Size of opening 8x10 Material Fiberglass Color White

Shutter Type/Style/Material: Louver, Composite Color: Hale Navy

Gutter Type/Material: Aluminum Color: White

Deck material: wood _____ other material, specify N/A Color: _____

Skylight, type/make/model/: N/A material _____ Color: _____ Size: _____

Sign size: N/A Type/Materials: _____ Color: _____

Fence Type (max 6') Style N/A material: _____ Color: _____

Retaining wall: Material: N/A

Lighting, freestanding Post Light on building Onion illuminating sign _____

OTHER INFORMATION: _____

THE ATTACHED CHECK LIST MUST BE COMPLETED AND SUBMITTED

Please provide samples of paint colors, manufacturers brochure of windows, doors, garage door, fences, lamp posts etc

Signed: (plan preparer) _____ Print Name _____

Nicholas Bowes

Town of Barnstable, Old Kings Highway Historic District Committee

CHECKLIST -- CERTIFICATE OF APPROPRIATENESS

Please check the applicable categories; This check list must be completed and submitted with your application.

1. ALTERATIONS (new paint color, changes to siding, roof shingles, windows or door etc.)

- ☐ **Application for Certificate of Appropriateness**, 5 copies.
- ☐ **Spec Sheet**, 4 copies; brochures and color samples.
- ☐ Plans of building elevations/photographs, 5 copies, ONLY if there is a change to the location and size of the window (s) or door (s)

2. MINOR ADDITIONS e.g. decks, shed (over 120 sq. feet)

- ☐ **Application for Certificate of Appropriateness**, 5 copies.
- ☐ **Spec Sheet**, 5 copies; brochures and color samples.
- ☐ **Site Plan**, 5 copies, **ONLY** if there is a change to the building footprint.
  A site plan drawn on a mortgage survey plan or GIS map may be used for minor additions, UNLESS the porch, deck, pool, or shed etc. is close to lot lines, zoning setback lines, or other buildings, in which case a certified site plan must be submitted, see requirements as applicable, see 4. Site Plan, below.
- ☐ **Photographs** of all building elevation affected by any proposed alterations.
- ☐ **Plans:** 5 copies plus 1 at reduced scale to fit 8.5 x 11 or 11 x 17 paper
  Company brochure of manufacturer's shed **OR** to-scale sketch of affected structure or building elevations.

3. STRUCTURES, NEW/ALTERED (fences, new stonewalls or changes to, retaining walls, pools etc)

- ☐ **Application for Certificate of Appropriateness**
- ☐ **Spec Sheet**, brochures or diagram.
- ☐ **Site plan**, see Instructions 2. Site Plan, above.
- ☐ **Photographs** of any existing structure that will be affected by change.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING

- ☐ **Application for Certificate of Appropriateness** (5 copies).
- ☐ **Spec Sheet**, 5 copies, brochures and samples of colors.
- ☐ **Site Plan**, 5 copies, at an appropriate scale. & 5 copies of site plans at reduced scaled to fit 8.5"X11 or 11X17 paper

  Site Plans shall contain the following:
  - ☑ Name of applicant, street location, map and parcel.
  - ☑ Name of architect, engineer or surveyor; original stamp and signature; date of plan and revision dates.
  - ☑ North arrow, written and drawn scale.
  - ☑ Changes to existing grades shown with one-foot contours.
  - ☑ Proposed and existing footprint of the building and/or structures, and distance to lot lines.
  - ☑ Proposed driveway location.
  - ☑ Proposed limits of clearing for building(s), accessory structure(s), driveway and septic system.
  - ☑ Retaining walls or accessory structures (e.g. pool, tennis court, cabanas, barn, garage etc.)

  ☐ **Building Elevations:**
  - 5 copies of plans at a scale of ¼" = 1 foot; a written and drawn scale.
  - 5 copies of plans at a reduced scale to fit 8.5"x 11 or 11 x 17 paper.

4. NEW HOUSE, ADDITION OR A COMMERCIAL BUILDING - *CONTINUED*

Plans shall include the following:

☐ Name of applicant, street location, map and parcel.

☐ Name of Builder Designer, or architect; original signature of plan preparer and stamp; plan date, and all revision dates. ALL NEW HOUSE OR COMMERCIAL BUILDING PLANS MUST HAVE AN ORIGINAL SIGNATURE AND STAMP, IF ANY, BY A REGISTERED ARCHITECT, MEMBER OF AIBD, OR A LICENSED MASSACHUSETTS HOME IMPROVEMENT CONTRACTOR, UNLESS THIS REQUIREMENT IS WAIVED BY THE OKH DISTRICT COMMITTEE.

☐ A written and bar drawn scale

☐ Elevations of all (affected) sides of the building, with dimensions including height from the natural grade adjacent to the building to the top of the ridge; location and elevation of finished grade, roof pitch(s) dormer setbacks; trim style, window and door styles. Changes to existing buildings must be clouded on drawings.

☐ Window schedule on plans.

☐ **Landscaping plan**, 5 copies drawn on a certified perimeter plan containing the following information:

- Name of applicant, street address, assessor's map and parcel number.

  Name address and telephone number of the plan preparer, plan date, & dates of revisions

☐ The location of existing and proposed buildings and structures, and lot lines.

☐ Natural features of site (e.g. rock outcroppings, streams, wetlands, etc.).

☐ Existing buffer areas to remain.

☐ Location and species of trees outside of buffer areas greater than 12" caliper to be retained or removed.

☐ The location, number, size and name of proposed new trees and plants.

☐ Driveway, parking areas, walkways, and patios indicating materials to be used.

☐ Existing stone walls, and proposed walls including retaining walls for slope retention or septic systems. (for removal of stone walls, file Demolition Form).

☐ All proposed exterior lighting and signs.

☐ **Sketch or photos of adjacent properties**, (1 copy only)

A sketch(s) to scale or photographs of nearby adjacent buildings, where present, along both sides of the street frontage, showing the proposed new house or commercial building in scale and in relationship to the existing buildings. Please discuss with staff if you do not think this is relevant to your application.

☐ **Photographs of all sides of existing buildings** to remain, or being added to .

Please complete the following:

Existing building, foot print:
Building 1 1602 sq. ft. Building 2 _____
Existing Building, gross floor area, including area of finished basement:
Building 1 3588 sq. ft. Building 2 _____
New building or addition, foot print:
Building 1 1692 sq. ft. Building 2 _____
New Building or addition, gross floor area, including area of finished basement:
Building 1 3406 sq. ft. Building 2 _____

5. SIGNS

- ☐ Diagram of sign, showing graphics, size, design and height of post, color and materials.
- ☐ Spec sheet.
- ☐ Site Plan on a GIS map or mortgage survey, OR photographs OR to-scale sketch of building elevation showing location of proposed sign; and any tree to be removed near a freestanding sign.

6. SOLAR PANELS

- ☐ Drawing of location of panels on house showing roof and panel dimensions.
- ☐ Site plan showing location of building on property. (Assessors map may be submitted)
- ☐ Height of solar panel above the roof.
- ☐ Color of panels
- ☐ Finish (matt or glossy)

7. FEES

- ☐ **Fees** according to schedule, made payable to the Town of Barnstable
- ☐ $19.84 made payable to the Barnstable Patriot for the required legal ad notification
- ☐ **First Class Postage Stamps** for abutter notification. Please contact the Barnstable Old King's Highway Office

SIGNED (plan preparer) _____ Print Nicholas Bowes

Date: 8/17/21 Tel. Phone no's: 508-771-1040

Email nick@boysidebuilding.com

NOTE: *The Old Kings Highway Historic District Committee MAY DENY INCOMPLETE APPLICATIONS*

ATTENDANCE AT MEETINGS: *If the applicant or his/her representative is not present during the hearing is scheduled, the application may be either CONTINUED OR DENIED*

APPEAL PERIOD	APPROVED PLANS	PLAN PICK UP

There is a ten (10) day appeal period, plus a 4 day waiting period for approved plans from the date the decision is filed with Town Clerk. This is necessary for each Certificate of Appropriateness and/or Certificate for Demolition issued by the Old King's Highway Committee. Plans approved by the Old King's Highway Historic District Committee may be picked up at Growth Management, Regulatory Division, 200 Main Street, Hyannis, after expiration of the 14 day "wait" period. If the 14th day falls on a Saturday, your plans will be available the afternoon of the following business day.

DENIALS

Applications that are denied may be appealed to the Old Kings Highway Regional Historic District Commission within 10 days of the filing of the decision with the Town Clerk. For more information, see the Bulletin of the Old Kings Highway District Commission.

BUILDING PERMITS, OTHER AGENCY CONTACTS

In most instances, before commencing work, a Building Permit is required. The Building Division will require a certified plot plan for new construction and/or demolition. Commercial work may require Site Plan approval. Demolitions: the applicant should check with the Building Division as to conformance with Zoning requirements.
Other Regulatory Agencies at 200 Main St, Hyannis MA 02601: Building Division 508-862-4038
Conservation Division 508-862-4093 Health Division 508-862-4644

QUESTIONS ABOUT YOUR APPLICATION? PLEASE CALL THE BARNSTABLE OLD KINGS HIGHWAY OFFICE AT 508 862-4787

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 301027

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
301026	MARSTIN, CLAYTON ET AL		39 ROXANNE BLVD		HIGHLAND	NY	12528
301027	PIGOTT, WILLIAM T & PRUDENCE A		PO BOX 1466		BOCA GRANDE	FL	33921
301028	HALL, ROBERT JR & SALLY G		50 SUNSET LANE		BARNSTABLE	MA	02630
301061	NELSON, RUTH C TR	RUTH C NELSON TRUST	PO BOX 1135		BARNSTABLE	MA	02630

Total Number of Abutters: 4

Report Generated On: 8/29/2021 9:46 PM

This list by itself does NOT constitute a "Certified List of Abutters" and is provided only as an aid to the determination of abutters. If a Certified Abutter List is required, you must contact the Assessing Division to have this list certified.

TOWN OF BARNSTABLE

PROPERTY MAPS

Legend

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
  - Approx. Building
  - Buildings
- Painted Lines
- Parking Lots
  - Paved
  - Unpaved
- Driveways
  - Paved
  - Unpaved
- Roads
  - Paved Road
  - Unpaved Road
  - Bridge
  - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 9/1/2021

0 — 83 — 167 Feet

Approx. Scale: 1 inch = 83 feet

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

TOWN OF BARNSTABLE

PROPERTY MAPS

Legend

Road Names

Map printed on: 9/1/2021

0 42 83 Feet

Approx. Scale: 1 inch = 42 feet

This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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Town of Barnstable GIS Unit

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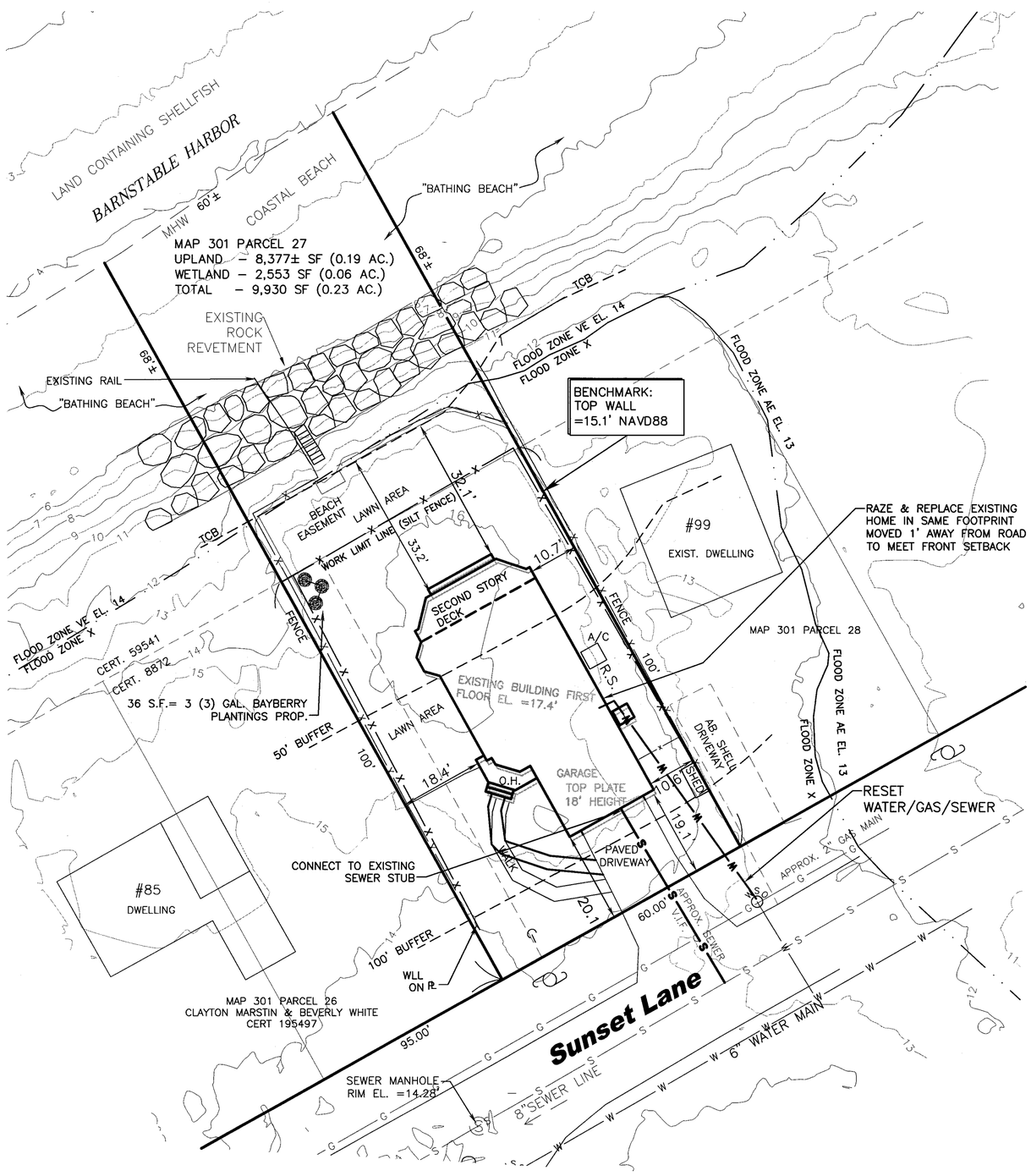


Scale: 1"= 20'

0 10 20 30 40 50 FEET

NOTES

1. DATUM IS NAVD88
2. THIS PLAN IS FOR PROPOSED WORK ONLY AND NOT TO BE USED FOR LOT LINE STAKING OR ANY OTHER PURPOSE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING DIGSAFE (1-888-344-7233) AND VERIFYING THE LOCATION OF ALL UNDERGROUND & OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.
4. EXISTING SEWER LINE LOCATION APPROXIMATE (MUST BE VERIFIED BY CONTRACTOR)
5. CONTRACTOR TO PROVIDE LICENSED SEWER INSTALLER TO PERFORM SEWER RE-CONNECTION
6. CONTRACTOR TO COORDINATE ALL UTILITY DISCONNECTS AND RE-CONNECTS WITH APPROPRIATE VENDORS

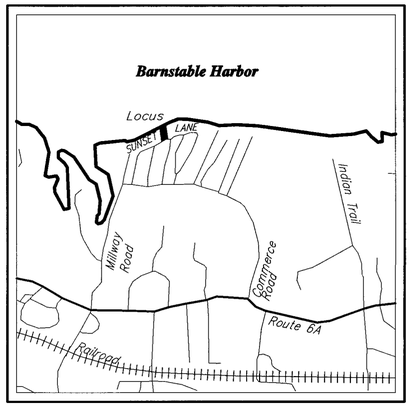
LANDSCAPE KEY

NORTHERN BAYBERRY
MYRICA PENSYLVANICA

LEGEND

99	EXISTING CONTOUR
99.1	EXIST. SPOT ELEV.
[99]	PROPOSED CONTOUR
[98.4]	PROPOSED SPOT EL.
TH1	TEST HOLE
2%	SLOPE OF GROUND
	UTILITY POLE
	FIRE HYDRANT

NOTE: NOT ALL SYMBOLS MAY APPEAR IN DRAWING



LOCUS MAP

SCALE 1"=2000'±

ASSESSORS MAP 301 PARCEL 27

LOCUS IS WITHIN FEMA FLOOD ZONE X AND ZONE VE (EL 14) AS SHOWN ON COMMUNITY PANEL #25001C0558J DATED 7/16/2014

HOME IS NOT LOCATED IN A HIGH FLOOD HAZARD ZONE

MITIGATION CALCULATIONS:

HARDSCAPE	0–50'	50–100'	
EXISTING:	465 SF	1401 SF	
PROPOSED:	496 SF	1366 SF	
CHANGE:	31 SF(X4)	–35 SF(X3)	NET = 19 SF SF

19 SF OF MITIGATION REQUIRED => 35 SF PROPOSED

OWNER OF RECORD

PIGOTT, WILLIAM T & PRUDENCE A
PO BOX 1466
BOCA GRANDE, FL

REFERENCES

CERT. 140593
LCP 17933-M LOT 225
LCP 17933-H SHEET 1 LOT 199 (LOCUS)

SITE PLAN

OF

95 SUNSET LANE BARNSTABLE, MA

PREPARED FOR

BAYSIDE-PIGOTT

DATE: AUGUST 9, 2021

COMMONWEALTH OF MASSACHUSETTS DANIEL A. OJALA CIVIL No. 46502 REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH OF MASSACHUSETTS DANIEL A. OJALA No. 40980 PROFESSIONAL LAND SURVEYOR

8/9/21
DATE

DANIEL A. OJALA, P.E., P.L.S.

off 508-362-4541
fax 508-362-9880
downcape.com ©

down cape engineering, inc.
civil engineers
land surveyors
939 Main Street (Rte 6A)
YARMOUTHPORT MA 02675

20-433 BAYSIDE-PIGOTT.DWG

DCE #20-433

COVER

THE PIGGOT RESIDENCE

Schematic Design

June 15th, 2021

95 Sunset Lane

Barnstable, Massachusetts

THE PIGGOT RESIDENCE

95 sunset lane barnstable massachusetts

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 JGOLDEN@jamespgolden.com
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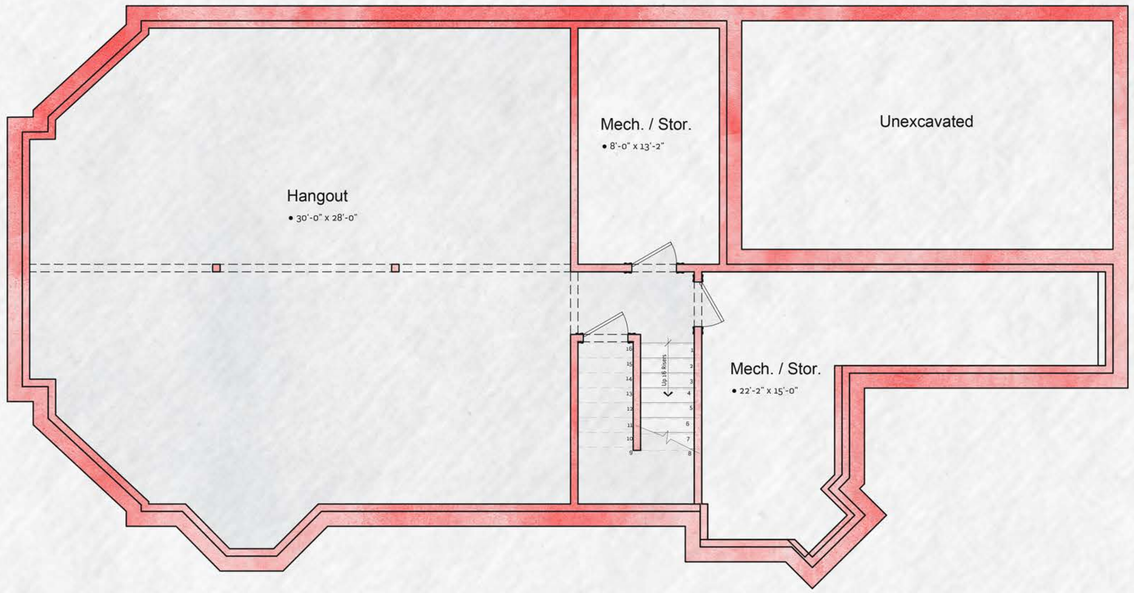
June 15th, 20201

a1

Proposed floor plans



1 LOWER LEVEL PLAN

THE PIGGOT RESIDENCE

95 sunset lane barnstable massachusetts

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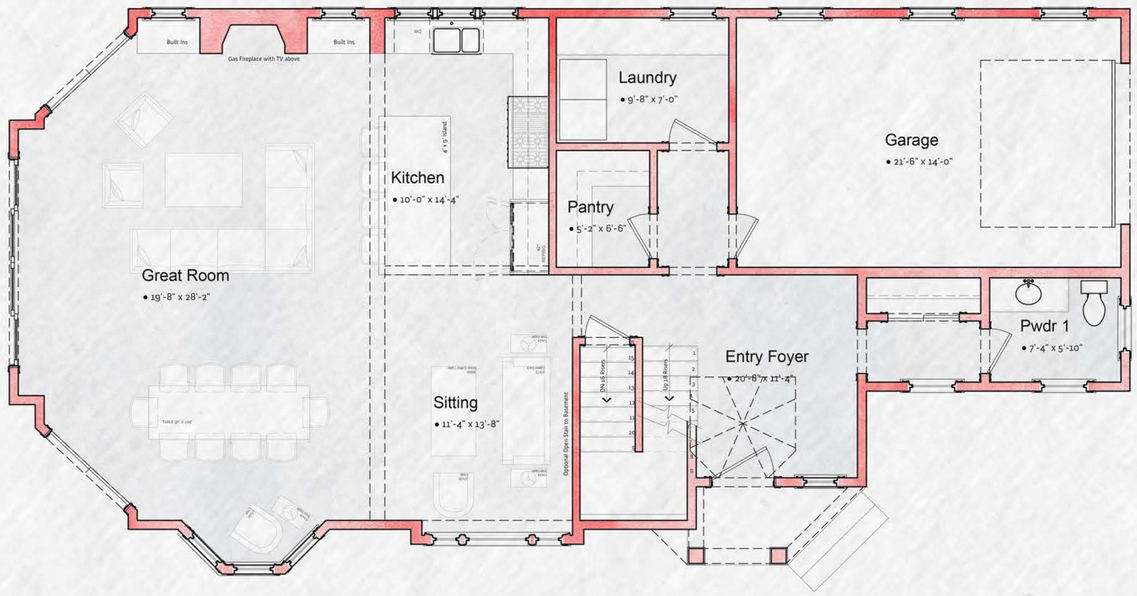
SCALE: 1/4" = 1'-0"

June 15th, 20201

a2

Proposed floor plans



1 FIRST LEVEL PLAN
1654 SQUARE FEET (INC. 350 SQUARE FOOT GARAGE)

THE PIGGOT RESIDENCE

95 sunset lane barnstable massachusetts

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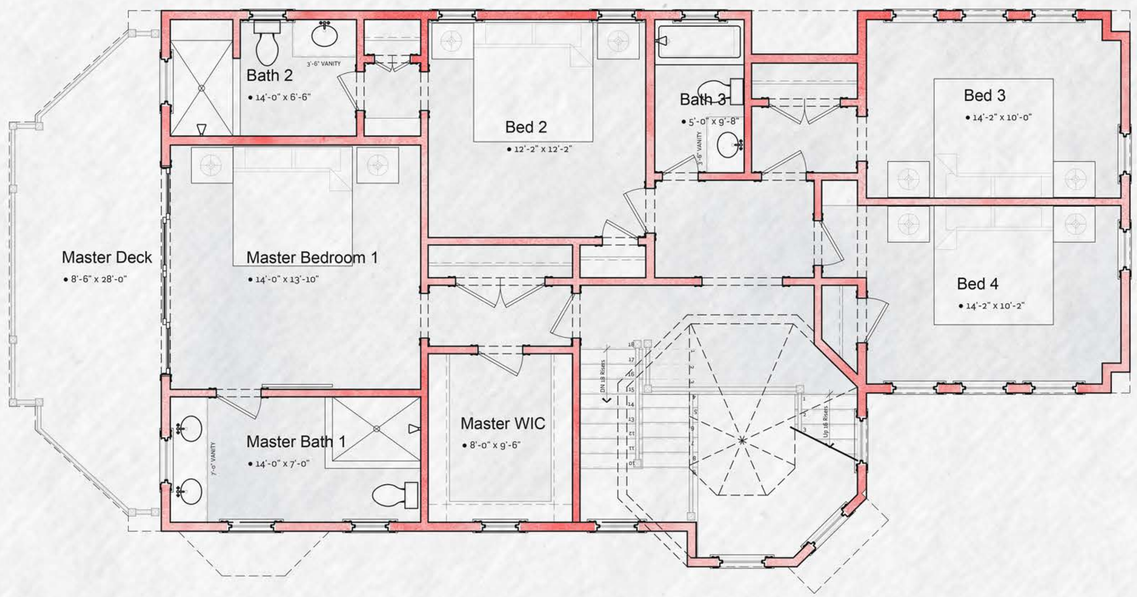
a3

PROPOSED FLOOR PLANS



1 SECOND LEVEL PLAN
1457 SQUARE FEET

THE PIGGOT RESIDENCE

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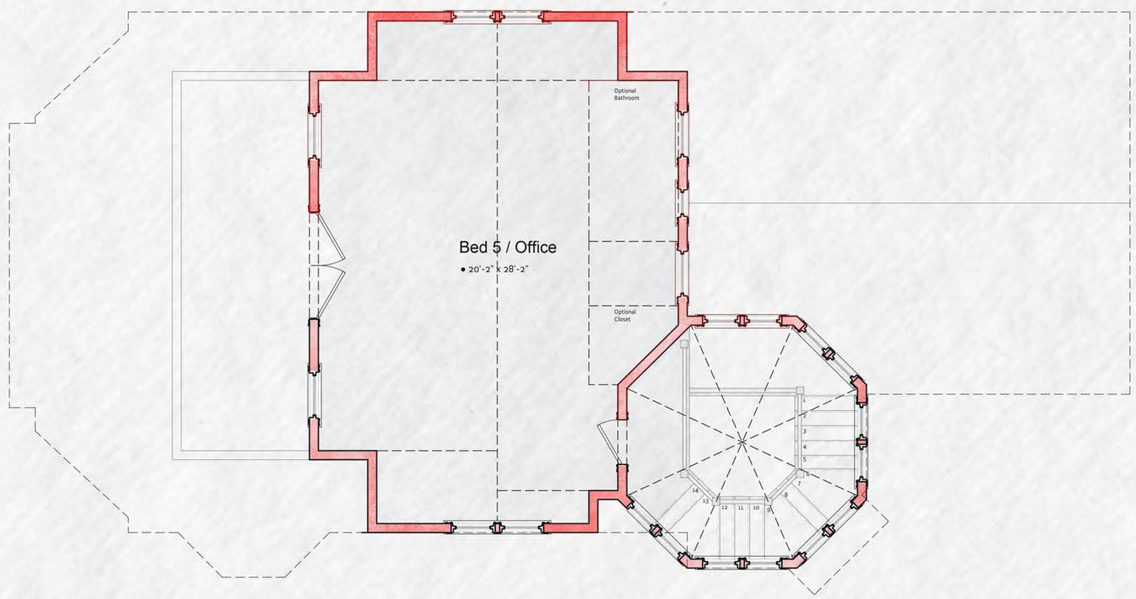
June 15th, 20201

a4

Proposed floor plans



1 THIRD LEVEL PLAN
703 SQUARE FEET

THE PIGGOT RESIDENCE

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a5

Proposed exterior elevations

THE PIGGOT RESIDENCE

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a6

Proposed exterior elevations

THE PIGGOT RESIDENCE

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June 15th, 20201

a7

Proposed exterior elevations

THE PIGGOT RESIDENCE

95 sunset lane barnstable massachusetts

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a8

Proposed exterior elevations

THE PIGGOT RESIDENCE

95 sunset lane barnstable massachusetts

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June 15th, 20201

COVER

THE PIGGOT RESIDENCE

Historic District Review

August 16th, 2021

95 Sunset Lane

Barnstable, Massachusetts

THE PIGGOT RESIDENCE

95 sunset lane barnstable massachusetts

JAMES PHILLIP GOLDEN ARCHITECT
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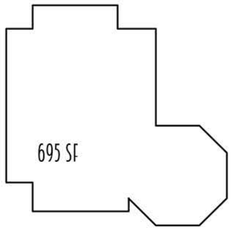
August 16th, 2021

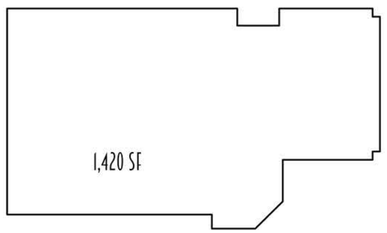
a0

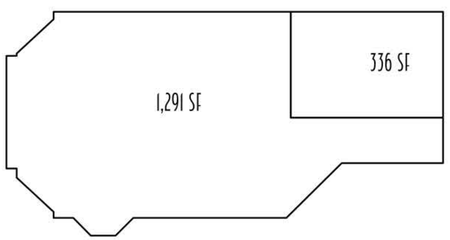
PROPOSED AREA CALCULATIONS

AREA CALCULATIONS



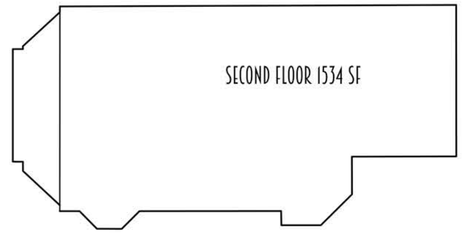
1,442 SF * 60% = 865

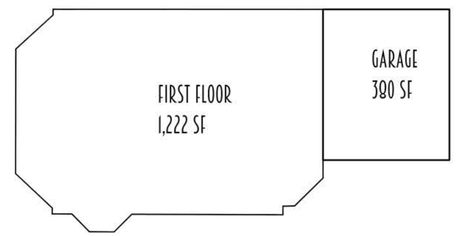


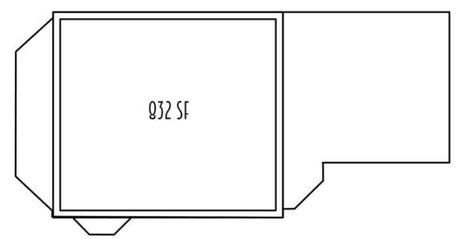


THIRD FLOOR AREA	695 SF
SECOND FLOOR AREA	1,420 SF
FIRST FLOOR AREA	1,291 SF
TOTAL	3,406 SF
UPLAND ALLOWABLE (30%)	3,464 SF

EXISTING AREA CALCULATIONS

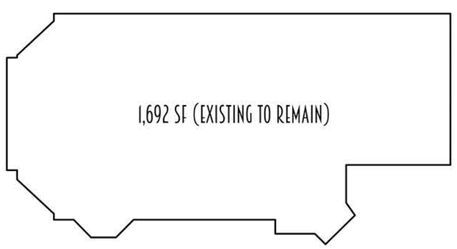






SECOND FLOOR AREA:	1,534 SF
FIRST FLOOR AREA:	1,222 SF
BASEMENT AREA:	832 SF
TOTAL:	3,588 SF

LOT COVERAGE CALCULATIONS



REGISTERED ARCHITECT
JAMES P. GOLDEN
No. 5286
BOSTON, MASS.
COMMONWEALTH OF MASSACHUSETTS

THE PIGGOT RESIDENCE

95 sunset lane barnstable massachusetts

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 JGOLDEN@jamespgolden.com
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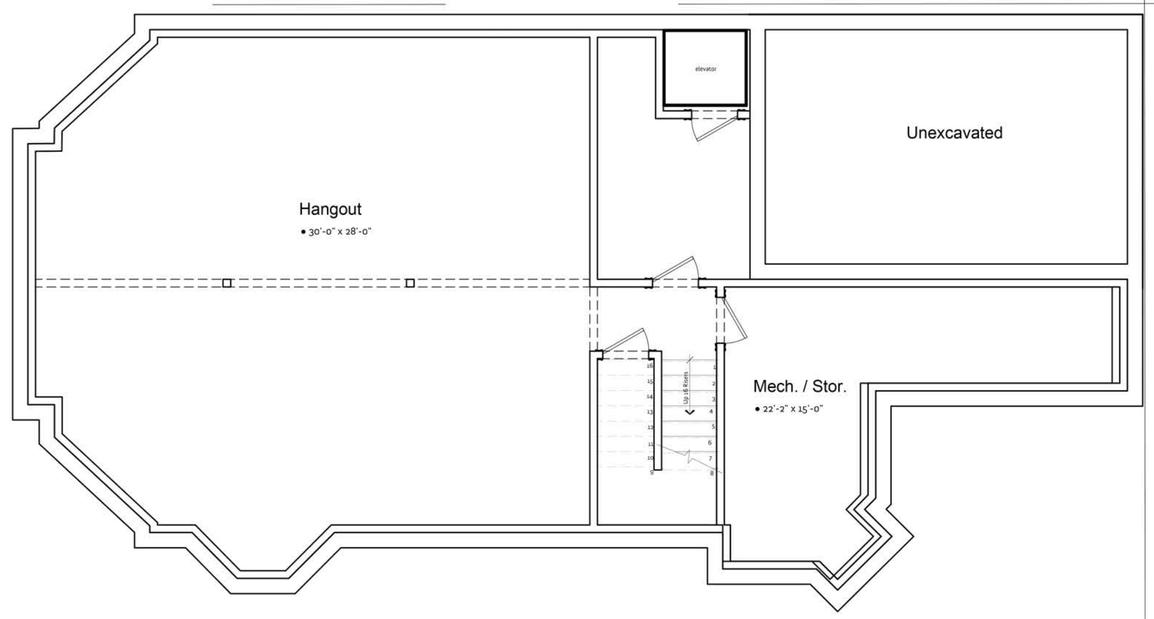
a1

PROPOSED FLOOR PLANS



1 LOWER LEVEL PLAN

REGISTERED ARCHITECT
JAMES P. GOLDEN
No. 5086
BOSTON, MASS.
COMMONWEALTH OF MASSACHUSETTS

THE PIGGOT RESIDENCE

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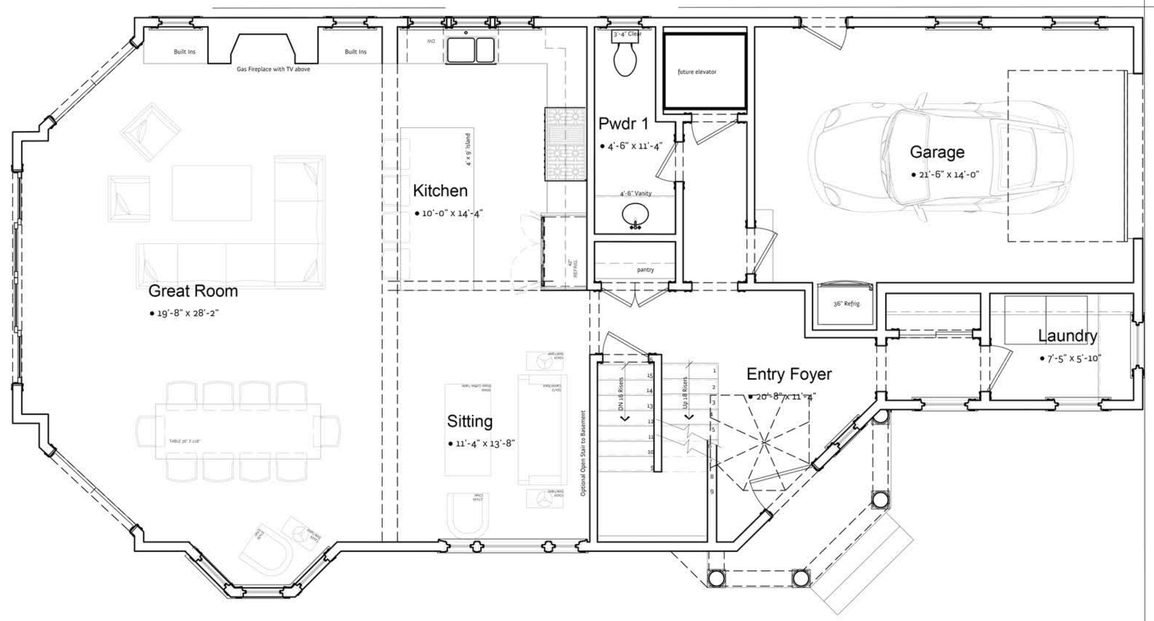
a2

PROPOSED FLOOR PLANS



1 FIRST LEVEL PLAN

REGISTERED ARCHITECT
JAMES P. GOLDEN
No. 32896
BOSTON, MASS.
COMMONWEALTH OF MASSACHUSETTS

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SCALE: 1/4" = 1'-0"

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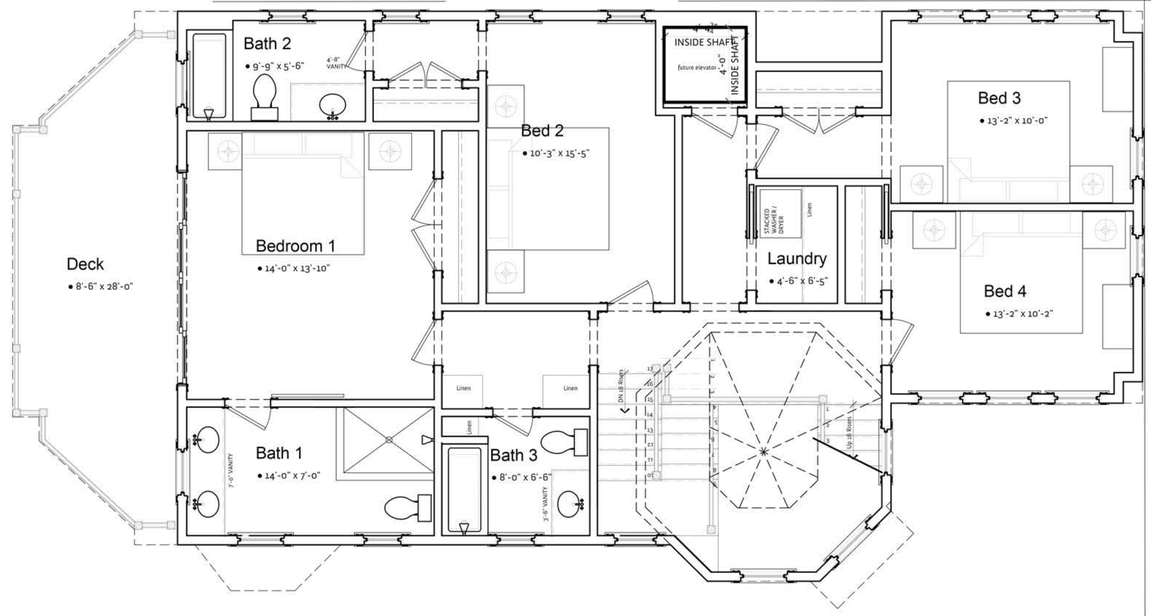
a3

PROPOSED FLOOR PLANS



1 SECOND LEVEL PLAN

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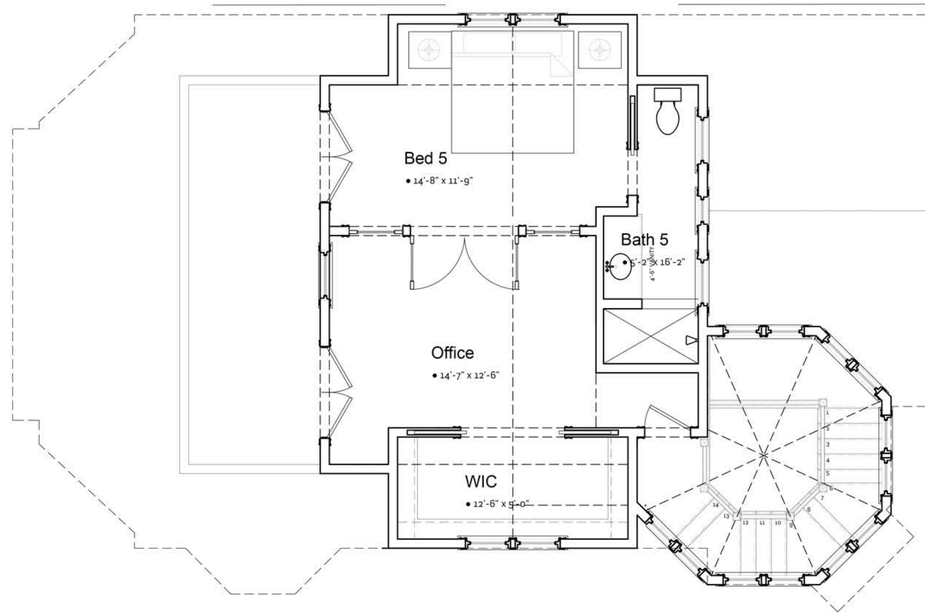
PROPOSED FLOOR PLANS



1 THIRD LEVEL PLAN

REGISTERED ARCHITECT
JAMES P. GOLDEN
No. 5366
BOSTON
MASS.
COMMONWEALTH OF MASSACHUSETTS

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PROPOSED EXTERIOR ELEVATIONS

REGISTERED ARCHITECT
JAMES P. GOLDEN
No. 6000
BOSTON, MASS.
COMMONWEALTH OF MASSACHUSETTS

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Proposed exterior elevations

REGISTERED ARCHITECT
JAMES P. GOLDEN
No. 5086
BOSTON, MASS.
COMMONWEALTH OF MASSACHUSETTS

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1/8"=1'-0"

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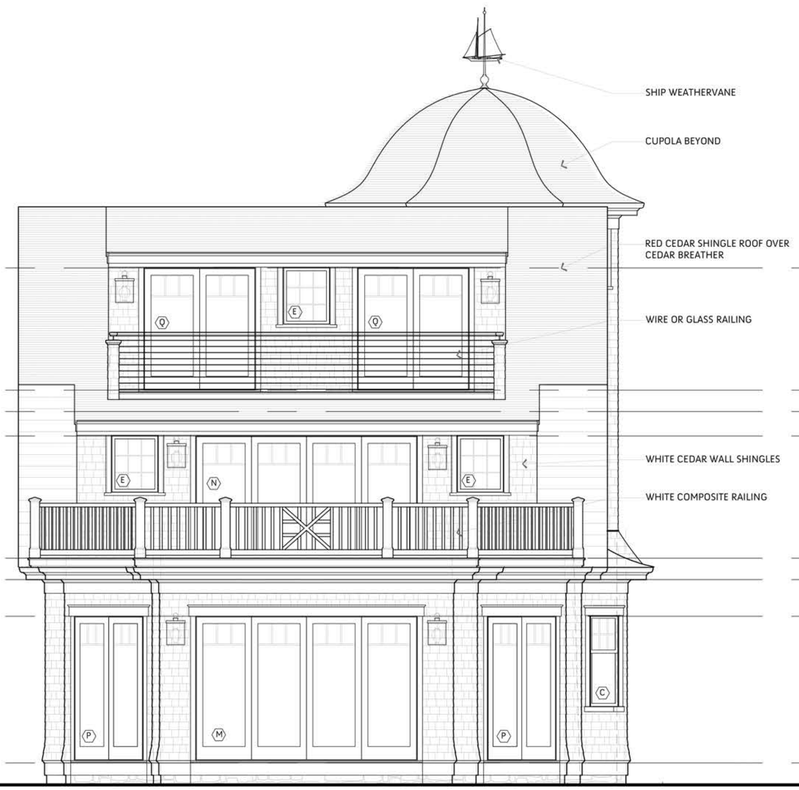
a7

PROPOSED EXTERIOR ELEVATIONS



REGISTERED ARCHITECT
JAMES P. GOLDEN
No. 5080
BOSTON, MASS.
COMMONWEALTH OF MASSACHUSETTS

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PROPOSED EXTERIOR ELEVATIONS

REGISTERED ARCHITECT
JAMES P. GOLDEN
No. 5286
BOSTON
MASS.
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THE PIGGOT RESIDENCE

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SCALE: 1/4"=1'-0"

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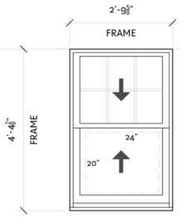
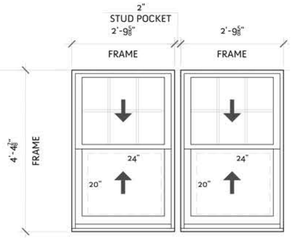
PROPOSED WINDOW SCHEDULE



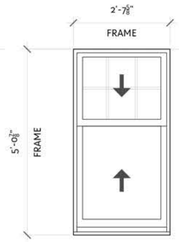
A

ANDERSON 400 SERIES
DOUBLE HUNG WINDOW
WDH2842 (6/1- LITES)



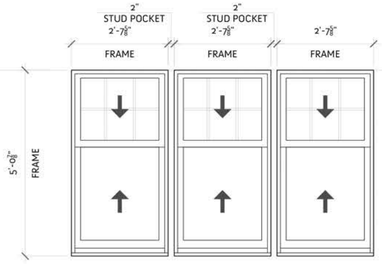
B

ANDERSON 400 SERIES
DOUBLE HUNG WINDOW
WDH2842 (6/1- LITES)



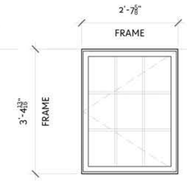
C

ANDERSON 400 SERIES
DOUBLE HUNG WINDOW
COTTAGE SASH
WDH26410C (6/1- LITES)



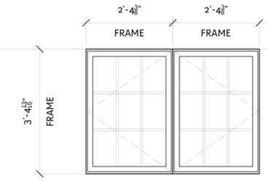
D

ANDERSON 400 SERIES
DOUBLE HUNG WINDOW
COTTAGE SASH
WDH26410C (6/1- LITES)



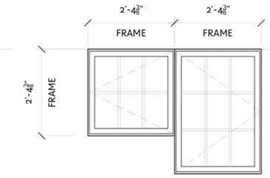
E

ANDERSON 400 SERIES
CASEMENT WINDOW
CX135 (9- LITES)



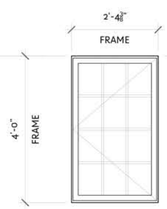
F

ANDERSON 400 SERIES
CASEMENT WINDOW
CW135 (9- LITES)



G

ANDERSON 400 SERIES
CASEMENT WINDOW
CW135 (9- LITES)
CASEMENT WINDOW
CW125 (6 LITES)



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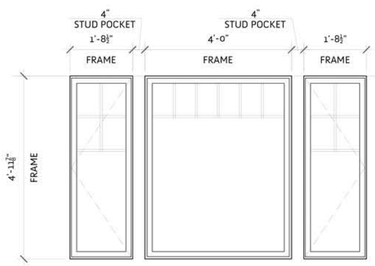
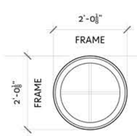
ANDERSON 400 SERIES
CASEMENT WINDOW
CW14 (12- LITES)



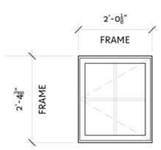
J

ANDERSON 400 SERIES
CASEMENT WINDOW
CN15 (4/1- LITES)
PICTURE WINDOW
P4050 (6/1-LITES)



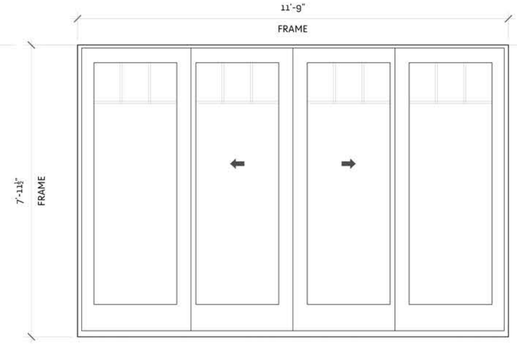
K

ANDERSON 400 SERIES
ROUND WINDOW
CIR20 (4- LITES)



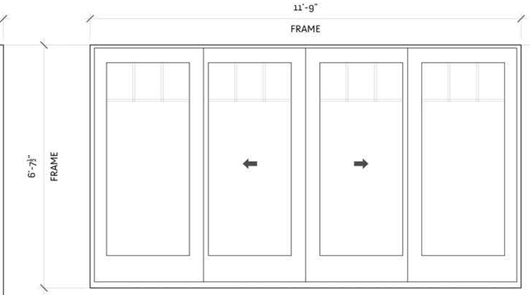
L

ANDERSON 400 SERIES
CASEMENT WINDOW
C125 (4- LITES)



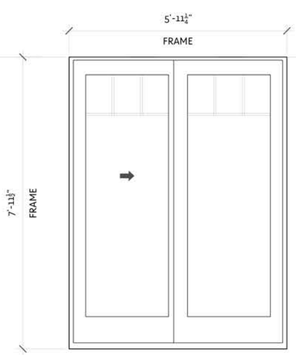
M

ANDERSON 400 SERIES
SLIDING DOORS
FWG12080 (4/1- LITES)



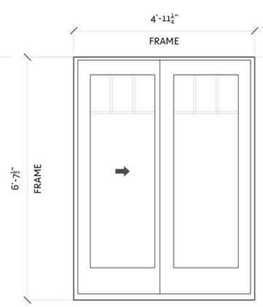
N

ANDERSON 400 SERIES
SLIDING DOORS
FWG12068 (4/1- LITES)



P

ANDERSON 400 SERIES
SLIDING DOORS
FWG6068 (3/1- LITES)



Q

ANDERSON 400 SERIES
SLIDING DOORS
FWG5068 (3/1- LITES)

WINDOW SCHEDULE GENERAL NOTES:

ALL WINDOWS AND DOORS TO COMPLY WITH THE INTERNATIONAL BUILDING CODE 9TH EDITION

ALL HEAD HEIGHTS TO BE VERIFIED IN FIELD WITH EXISTING CONDITIONS AND COORDINATED WITH ARCHITECT

PROVIDE TEMPERED GLASS AT ALL DOORS AND AT WINDOWS WHERE REQUIRED BY CODE.

PROVIDE SHOP DRAWINGS FOR ALL CUSTOM WINDOWS

WINDOWS AND DOORS TO BE ANDERSON WINDOWS SERIES 400 DOORS AND WINDOWS

WINDOW SPECIFICATIONS:
6 9/16" EXTENSION JAMBS
7/8" SDL WITH SPACER BAR
INSULATING CLEAR GLASS WITH LOW E II - ARGON FILLED

WINDOWS
PROVIDE BASIC UNIT WITH W8063 PROFILE PROJECTED SILL
SASH LOCKS: STANDARD LOCKS - OIL RUBBED BRONZE FINISH
SCREENS: STANDARD CHARCOAL FIBERGLASS - HALF SCREEN

HARDWARE: 3-POINT LOCKING MECHANISM - OIL RUBBED BRONZE (TBD, USE FOR PRICING PURPOSES)
ADJUSTABLE HINGES - OIL RUBBED BRONZE (TBD, USE FOR PRICING PURPOSES)

SILLS: BEIGE ULTREX SILLS

T INDICATES TEMPERED WINDOW. SEE FLOOR PLANS

ST INDICATES STAINED ROOM - VERIFY BEFORE PLACING ORDER, TYPICAL

I & O Not used for Clarity

THE PIGGOT RESIDENCE

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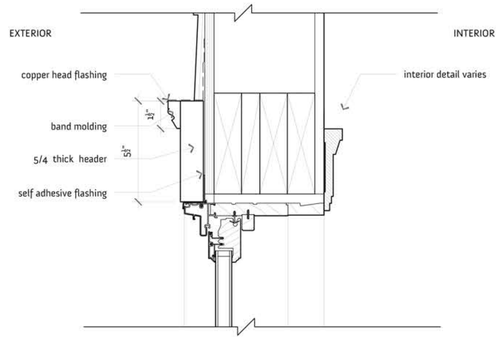
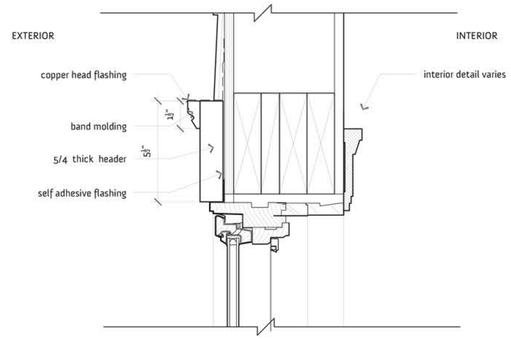
a10

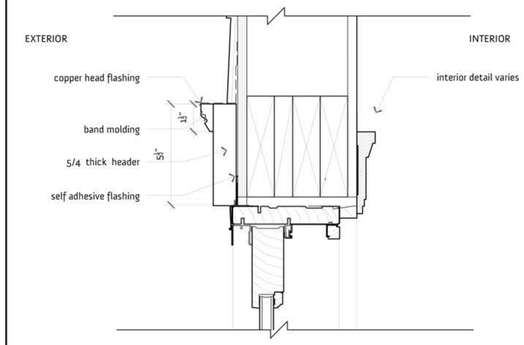
Proposed window details



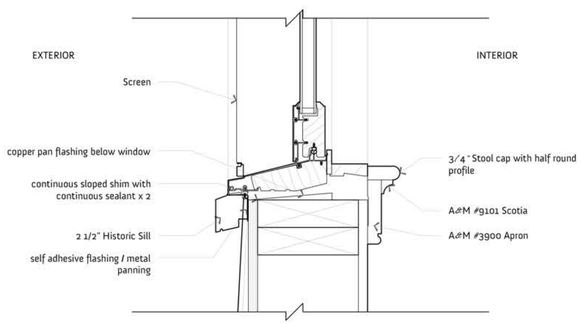
1H DOUBLE HUNG WINDOW HEAD DETAIL



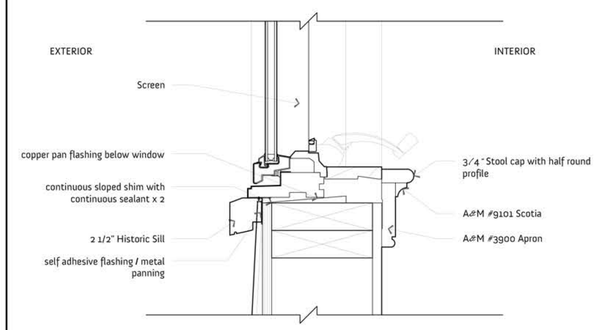
2H CASEMENT WINDOW HEAD DETAIL



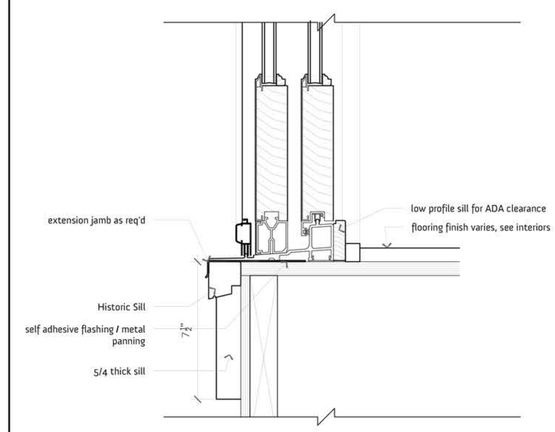
3H FRENCH DOOR HEAD DETAIL



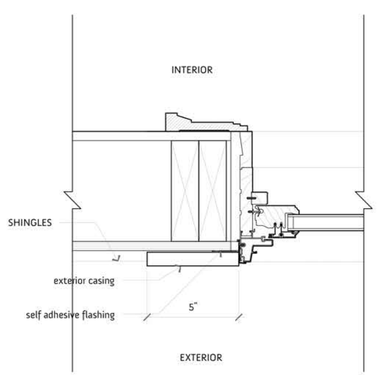
1S DOUBLE HUNG WINDOW SILL DETAIL



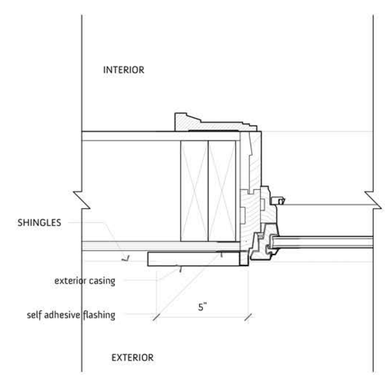
2S CASEMENT WINDOW SILL DETAIL



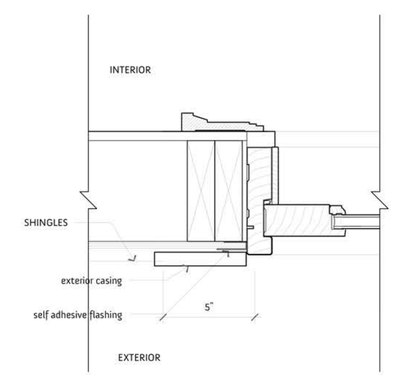
3S FRENCH DOOR SILL DETAIL



1J DOUBLE HUNG WINDOW JAMB DETAIL



2J CASEMENT WINDOW JAMB DETAIL



3J SLIDING DOOR JAMB DETAIL

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