



Town of Barnstable
Barnstable Historical Commission
367 Main Street, 3rd Floor, Hyannis, MA 02601
P 508.862.4787 [Web link](#)

Commission Members

Nancy Clark – Chair • Nancy Shoemaker – Vice Chair • Marilyn Fifield – Clerk
George Jessop, AIA • Cheryl Powell • Frances Parks • Jack Kay

AGENDA

Tuesday, August 17, 2021, 3:00PM

The Barnstable Historical Commission meeting will be held by remote participation; see instructions below.

1. Real-time access: Applicants, their representatives and individuals required or entitled (*public comment*) to appear before the Barnstable Historical Commission may participate through accessing the link or telephone number provided below:

Link: Join Zoom Meeting <https://zoom.us/j/92170918395>

Phone: 1- 888-475-4499 and entering Meeting ID: 92170918395

2. Following the meeting, a recording will be televised via Channel 18 and may be viewed via the Channel 18 website at <http://streaming85.townofbarnstable.us/CablecastPublicSite/>

3. Documentary exhibits and/or visual presentations should be submitted in advance of the meeting to Kaitlyn.maldonado@town.barnstable.ma us so that they may be displayed for remote public access viewing.

4. Members of the public wishing to review plans and applications prior to the meeting are instructed to contact Assistant Director, Kate Maldonado, by calling 508.862.4791 or by emailing Kaitlyn.maldonado@town.barnstable.ma.us

NOTICE OF RECORDING

Please note that this meeting is recorded and broadcast on Channel 18 and in accordance with Massachusetts General Law Chapter 30A §20. I must inquire whether anyone is taping this meeting and to please make their presence known.

CALL TO ORDER

Acting under the provisions of the Code of the Town of Barnstable, §112-1 through §112-7, the Historical Commission will hold a Public Hearing on the following applications. The following Applications have been determined significant and were referred to a Public Hearing:

CONTINUED APPLICATIONS

Cotuit Federated Church Trust, 40 School Street, Cotuit, Map 035, Parcel 050, built 1900

Partial demolition to construct two additions proposed; one at the north end of the church and one at the southeast end of the church

Brunner, Christian & Katherine, 17 Pearl Avenue, Hyannis, Map 287, Parcel 003, built c.1900, contributing structure in the Hyannis Port Historic District

Partial demolition Replace the existing foundation, lift the house and construct a new foundation; expand the rear elevation to provide a 2-car garage; add an octagonal room at the southeast corner

APPLICATIONS

Dacey, Brian, 20 Grand Island Drive, Osterville, Map 072, Parcel 014/000, built 1920

Full demolition of the single family structure and all out buildings

Croteau, Daniel & Kathryn, 76 Long Beach Road, Centerville, Map 206, Parcel 009/000, built 1920

Full demolition of the single family structure

Griffin, Liam & Amy, 191 Sea View Avenue, Osterville, Map 138, Parcel 015/000, Julia S. Day House, built 1898-1899, contributing structure in the Wianno Historic District

Partial Demolition lift and relocate the existing structure onto a new foundation to include a new basement, change windows and doors, convert flat roofs to pitched roofs, and add a 3-car garage with living space above

Stiles, Jane E. Trust; Jane E. Stiles Trust, 24 Maple Avenue, Centerville, Map 207, Parcel 037, built 1936

Full demolition of the single family structure and garage structure

Babcock Holdings, LLC, 11 Marchant Avenue, Hyannis, Map 286, Parcel 026/000, David Scudder Homestead, built c.1797, contributing structure in the Hyannis Port Historic District

Full demolition of the detached garage structure

OTHER

- Update - **Request for action relative to [§112-5](#)** – The abutters of **554 Wianno Avenue, Osterville, Map 162, Parcel 013/000, contributing structure on the National Register of Historic Places**, have expressed concern over potential neglect of this property and have requested action by the Commission to require maintenance so as to avoid demolition by neglect. Response to request from Jeff Carter, Deputy Director of Inspectional Services.
- Update – Historical Commission Regulations Sub-Committee
- Update – Community Preservation Committee
- Historic events open to the public

APPROVAL OF MINUTES

MATTERS NOT REASONABLY ANTICIPATED BY CHAIR

ADJOURNMENT

Next Meeting Date: September 21, 2021 & October 19, 2021

Please Note:

The list of matters, are those reasonably anticipated by the chair, which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. It is possible that if it so votes, the Committee may go into executive session. The Committee may also act on items in an order other than they appear on this agenda.



TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

Town Clerk Stamp

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 6/24/21 ☐ Full Demotion ☒ Partial Demolition
Building Address: 40 SCHOOL ST.
Number Street
Village COTUIT ZIP 02635 Assessor's Map # 035 Assessor's Parcel # 051
Property Owner: COTUIT FEDERATED CHURCH TRUST Phone# 508-428-6163
Name
Property Owner Mailing Address (if different than building address) SAME

Property Owner e-mail address: cotuitfederatedchurch@gmail.com
Contractor/Agent: CONSERV GROUP, INC.
Contractor/Agent Mailing Address: 110 STATE ROAD, SAGAMORE BEACH, MA 02562
Contractor/Agent Contact Name and Phone #: MIKE HILSINGER 508-888-6555 EXT 112
Name Phone #
Contractor/Agent Contact e-mail address: mhilsinger@verizon.net

Demolition Proposed - please itemize all changes:

NO DEMOLITION TO EXISTING BUILDING STRUCTURE - (2) ADDITIONS PROPOSED
ONE AT THE NORTH END OF THE CHURCH & ONE AT THE SOUTH EAST
END OF THE CHURCH.

Type of New Construction Proposed: NEW ADDITIONS TO MATCH EXISTING BUILDING ARCHITECTURE
AND MATERIALS

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1900 Additions Year Built: _____

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No ☒ Yes ☐

[Signature]
Property Owner/Agent Signature



Project Narrative

June 21, 2021

Submitted to:
Barnstable Historical Commission
367 Main Street
Hyannis, MA 02601

Re:
Cotuit Federated Church
40 School Street
Cotuit, MA 02635

The Cotuit Federated Church Trust is proposing an expansion of the existing building located at 40 School Street. This expansion consists of two additions. On the North side of the building (left side as viewed from High street) and one on the West side of the building (right side as viewed from School street) No demolition of the current building is planned with the exception of the entrance at the rear of the Narthex which will be extended out beyond the existing entrance stairway.

The goal of these two additions is to create more useable space within the building as well as to make the building accessible to ADA standards. Part of this expansion will be the incorporation of an elevator to allow access to the lower level of the existing building as well as the new addition on the North. In addition, a fire sprinkler system will be installed in order to protect the historic structure.

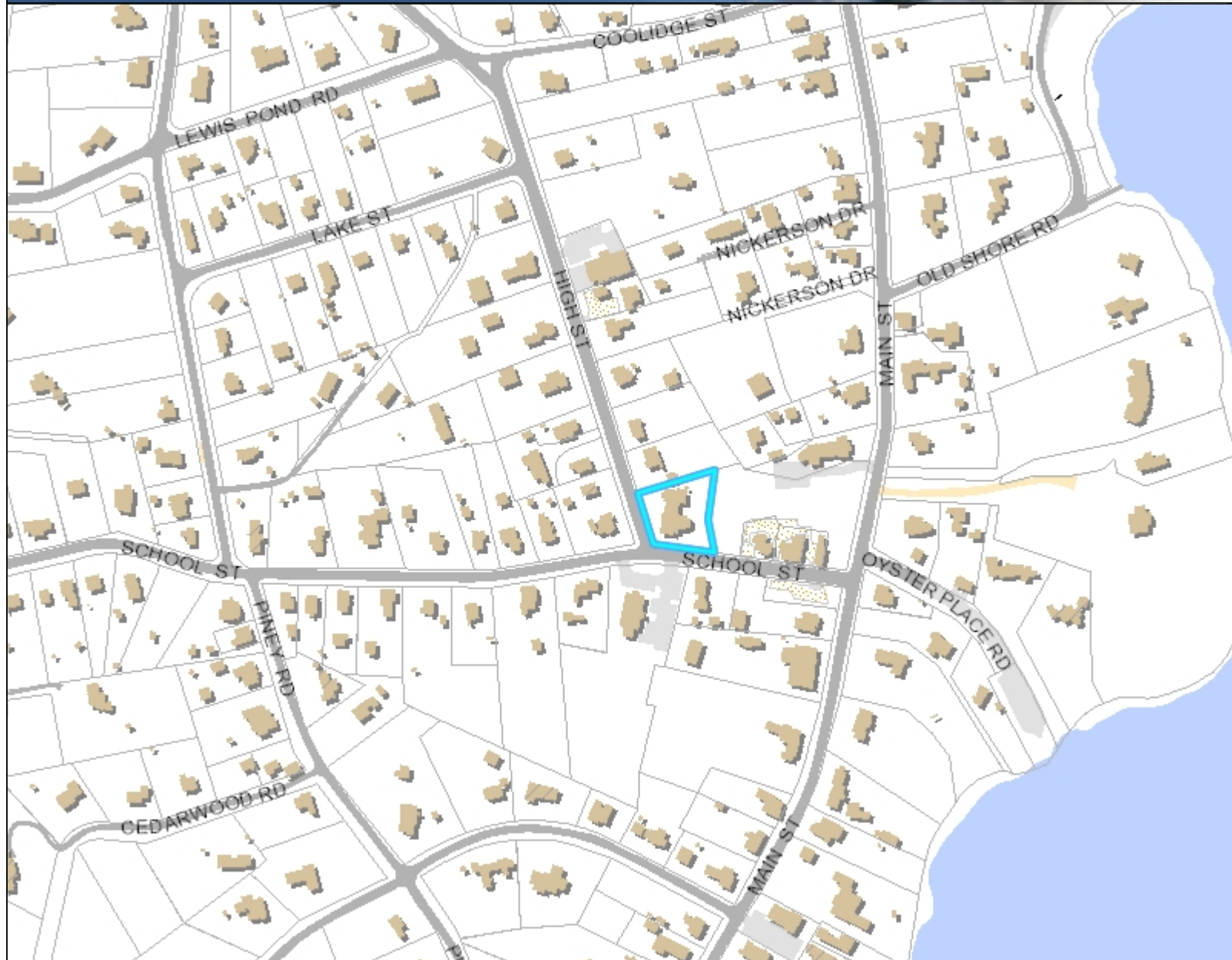
The architecture will reflect the existing lines of the building and will attempt to mimic the existing architectural features and finishes in such a way as to create the appearance of original construction or at very least, period correct additions.

The North addition will feature matching roof pitch, trim and window details to the existing structure. The West addition is a direct extension of the existing structure and will incorporate original stained glass windows that have been in storage since an earlier remodel project.

The building has distinctive corbel/exposed rafter tail details and these will be duplicated on the new additions.

The existing siding is white cedar shingles. Historical photographs of this building indicate a smaller exposure on the original shingles than is currently on the building. The new white cedar shingle siding will return the building to its' original appearance with tighter exposure on the siding.

All other exterior finishes and colors will remain in their current form with the goal of a cohesive appearance that is true to the original appearance of the building.

**Legend**

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings**
 - Approx. Building
 - Buildings
- Parking Lots**
 - Paved
 - Unpaved
- Roads**
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies

Map printed on: 6/25/2021

 Feet
0 333 667

Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

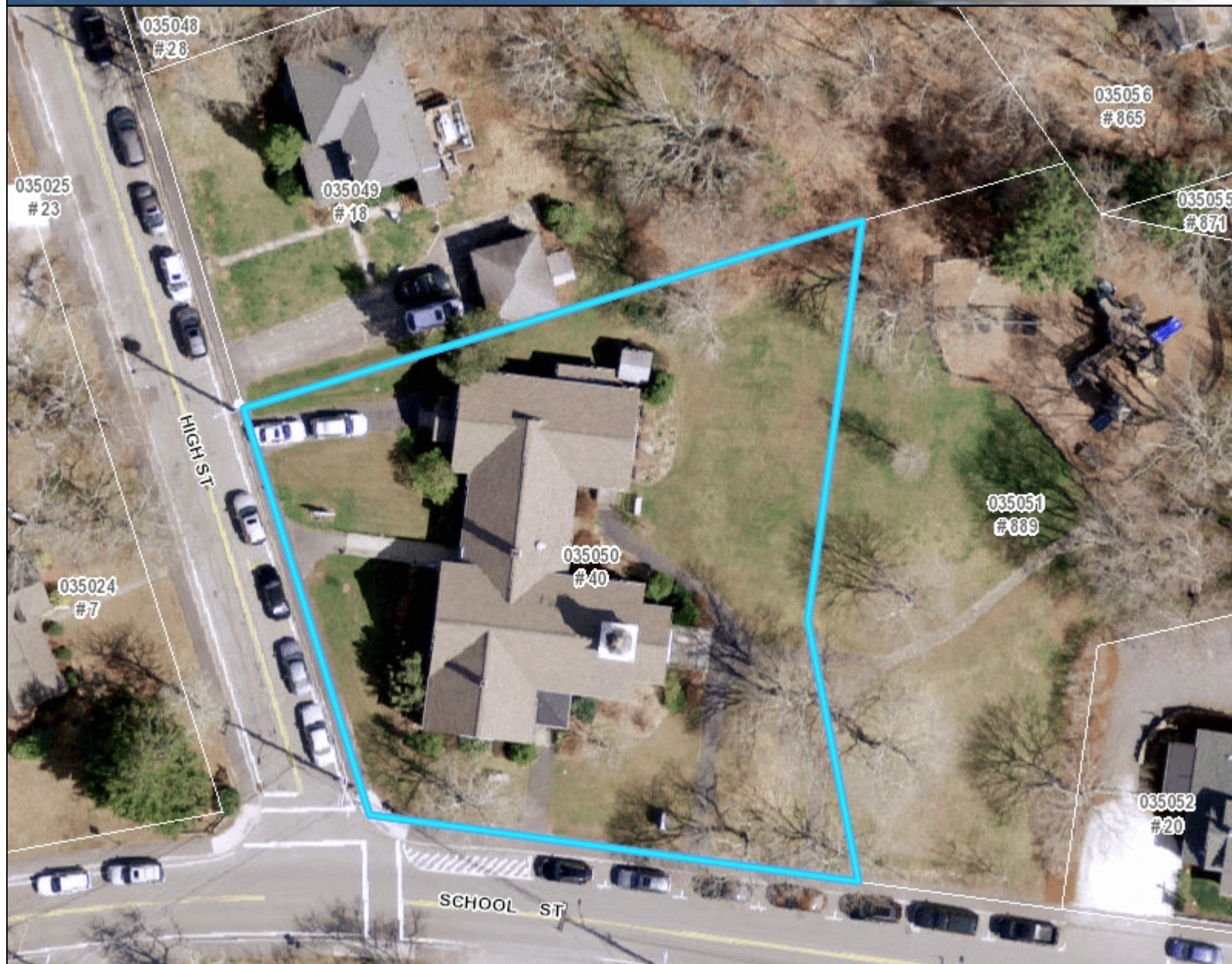
Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Map printed on: 6/25/2021

0 42 83 Feet

Approx. Scale: 1 inch = 42 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



06/23/2015

Parcel

035-050

Location

40 SCHOOL STREET

Village

Cotuit

Town sewer account

No

CWMP Sewer Expansion (subject to change with final engineering design)

Stage 2

Developer lot:

Road type

Town

Fire district

Cotuit


Secondary road

HIGH STREET

Road index

1433

Interactive map



Asbuilt septic scan
[035050_1](#)

▼_Owner: TRUSTEES OF COTUIT FEDERATED CHURCH

Owner	Co-Owner	Book page
TRUSTEES OF COTUIT FEDERATED CHURCH		32919/0234
Street1	Street2	
40 SCHOOL STREET		
City	State	Zip
COTUIT	MA	02635
	Country	

▼_ Land

Acres	Use	Zoning	Neighborhood
0.56	Church Etc M96	RF	0110
Topography	Street factor	Town Zone of Contribution	
Level	,Paved	AP (Aquifer Protection Overlay District)	
Utilities	Location factor	State Zone of Contribution	
Public Water,Gas,Septic		OUT	

▼_ Construction

▼_ Building 1 of 1

Year built

1900

Living area

4636

Gross area

9292

Style

Churches

Model

Ind/Comm

Grade

Average

Stories

1

Roof structure

Gable/Hip

Roof cover

Asph/F Gl/Cmp

Exterior wall

Wood Shingle

Interior wall

Plastered

Interior floor

Vinyl/Asphalt, Hardwood

Foundation

0%

Heat type

Hot Water

Heat fuel

Oil

AC type

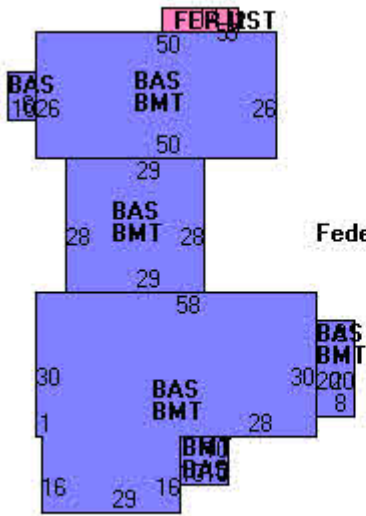
None

Bedrooms

Bath rooms

0 Full-0 Half

Total rooms



Federated Church of Cotuit

▼_ Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
03/25/2013	Commercial	201301854	\$0	06/30/2013	OVERNIGHT IN BRUCE HALL-ONE NIGHT PER MONTH/1 YR PMT
01/03/2012	Commercial	201107164	\$0	06/30/2012	TEMP SHELTER-1 NIGHT PER MONTH
11/03/2008	New Roof	200806173	\$24,795	06/30/2009	REROOF
09/22/1997	Repair Work	25777	\$1,270	06/30/1998	REPLC EXIT DR
07/17/1997	Remodel	32197	\$790	01/01/1999	BATHROOM DOOR

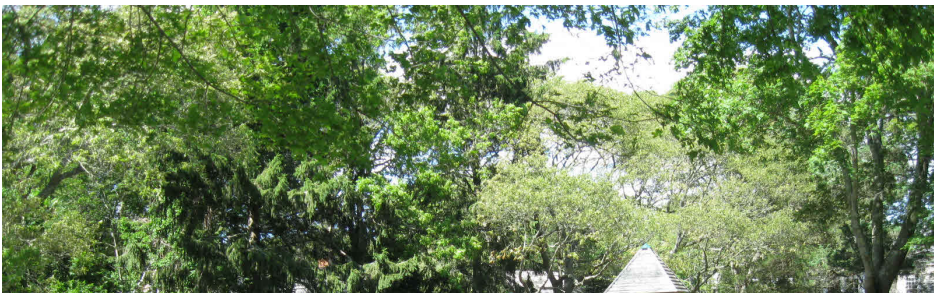
▼_ Sale History

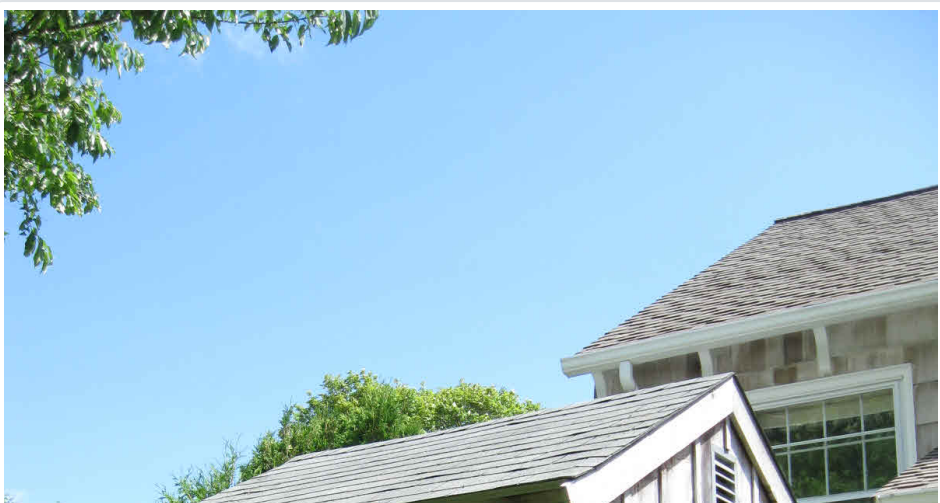
Line	Sale Date	Owner	Book/Page	Sale Price
1	05/20/2020	TRUSTEES OF COTUIT FEDERATED CHURCH	32919/0234	\$100
2	04/09/2013	COTUIT FEDERATED CHURCH TR	27277/0281	\$100
3		FEDERATED CHURCH OF COTUIT	EXEMPT / 0	\$0

Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2021	\$841,700	\$4,500	\$1,800	\$568,000	\$1,416,000
2	2020	\$509,500	\$64,900	\$2,200	\$287,200	\$863,800
3	2019	\$509,500	\$64,900	\$2,500	\$287,200	\$864,100
4	2018	\$493,500	\$64,900	\$2,600	\$298,700	\$859,700
5	2017	\$354,400	\$68,000	\$4,100	\$310,200	\$736,700
6	2016	\$354,400	\$68,000	\$4,100	\$307,800	\$734,300
7	2015	\$356,800	\$57,500	\$0	\$307,200	\$721,500
8	2014	\$356,800	\$57,500	\$0	\$307,200	\$721,500
9	2013	\$356,800	\$57,500	\$0	\$307,200	\$721,500
10	2012	\$439,700	\$57,500	\$0	\$375,500	\$872,700
11	2011	\$512,800	\$0	\$900	\$375,500	\$889,200
12	2010	\$512,800	\$0	\$1,000	\$375,500	\$889,300
13	2009	\$512,800	\$0	\$500	\$113,000	\$626,300
14	2008	\$418,400	\$0	\$500	\$113,000	\$531,900
16	2007	\$418,400	\$0	\$500	\$113,000	\$531,900
17	2006	\$418,400	\$0	\$500	\$113,000	\$531,900
18	2005	\$382,600	\$0	\$500	\$93,600	\$476,700
19	2004	\$360,800	\$0	\$500	\$58,500	\$419,800
20	2003	\$338,800	\$0	\$500	\$77,200	\$416,500
21	2002	\$373,600	\$0	\$500	\$77,200	\$451,300
22	2001	\$373,600	\$0	\$500	\$77,200	\$451,300
23	2000	\$352,800	\$0	\$300	\$46,700	\$399,800
24	1999	\$334,900	\$67,400	\$0	\$46,700	\$449,000
25	1998	\$334,900	\$67,400	\$0	\$46,700	\$449,000
37	1986	\$0	\$0	\$0	\$0	\$0

Photos













East Elevation



High Street Elevation



North Elevation



School Street Elevation

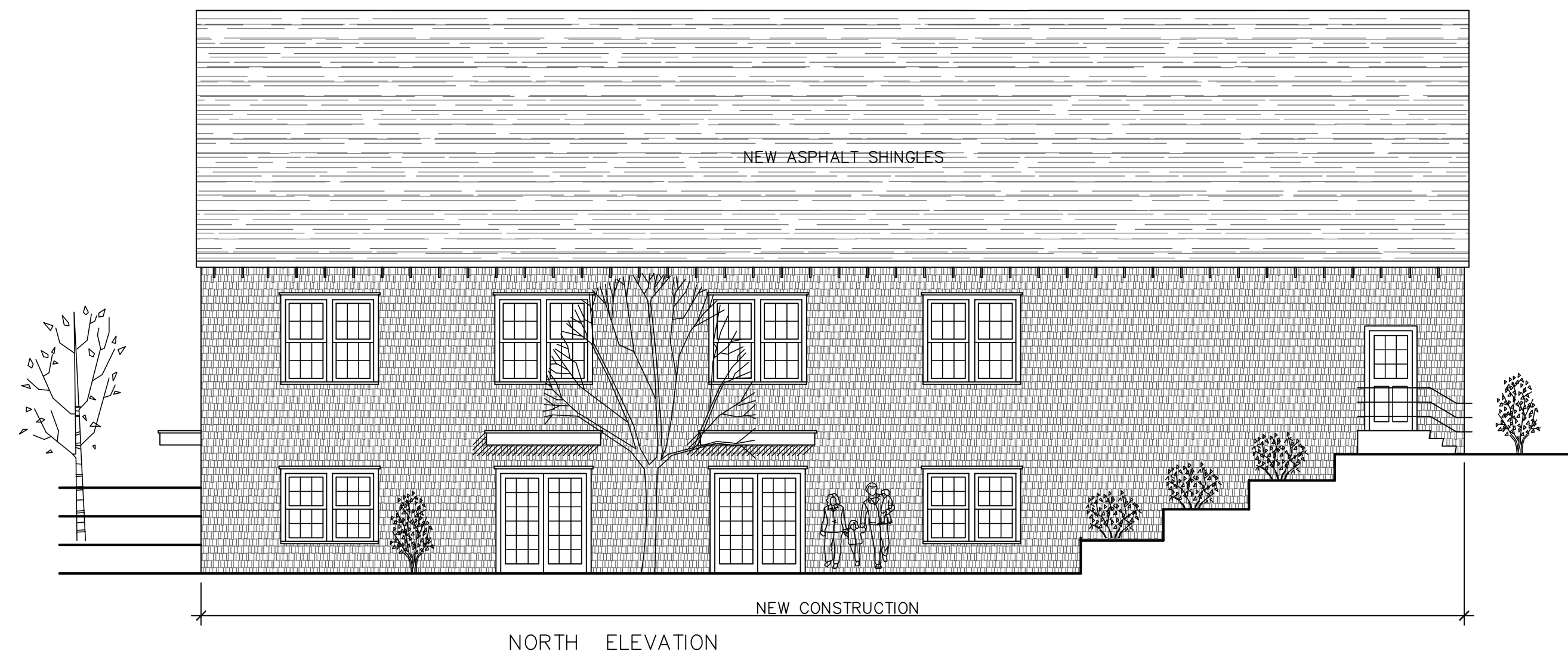
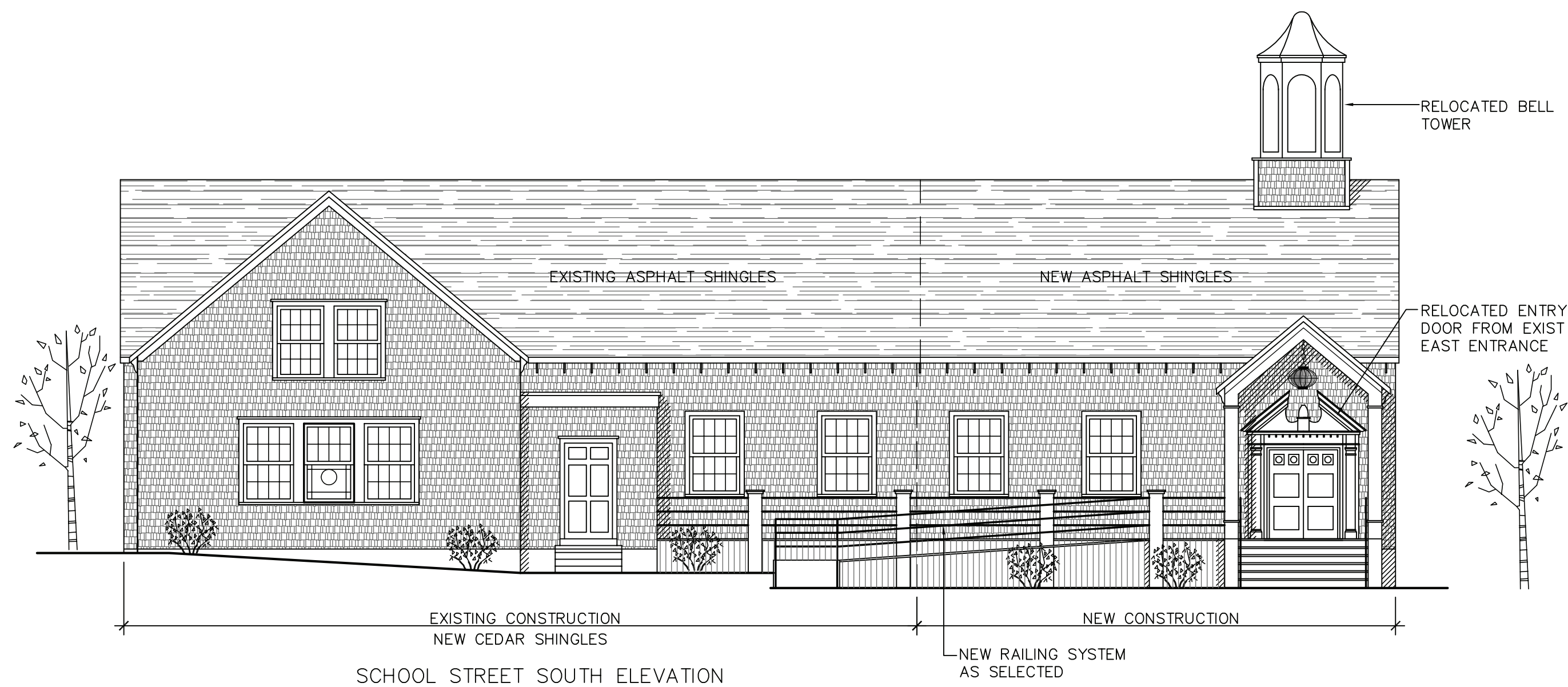
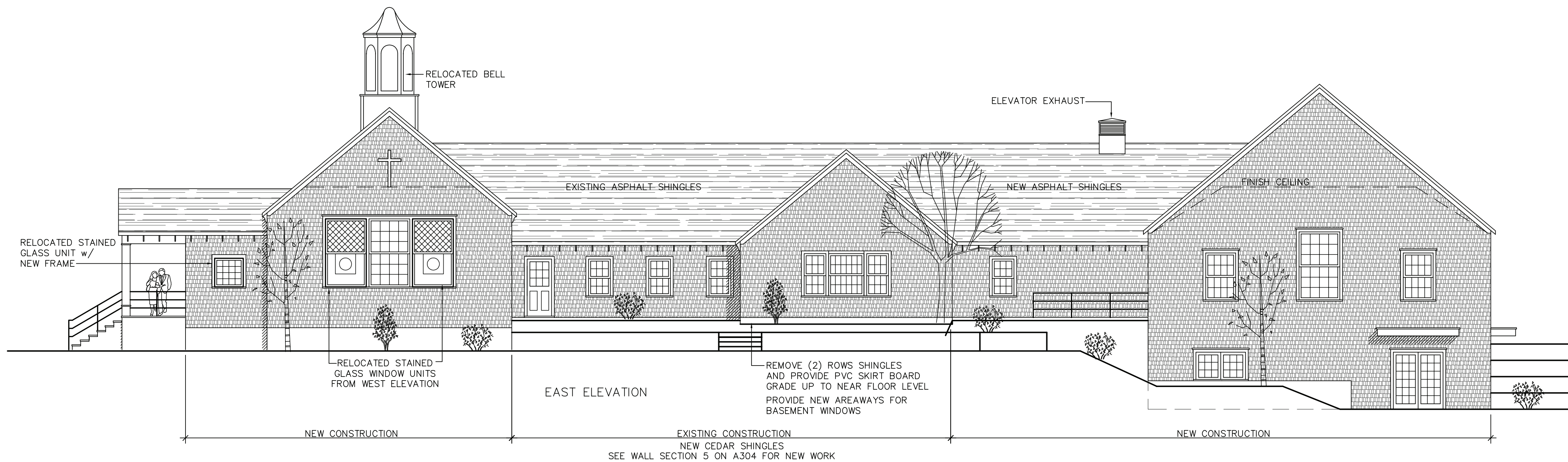
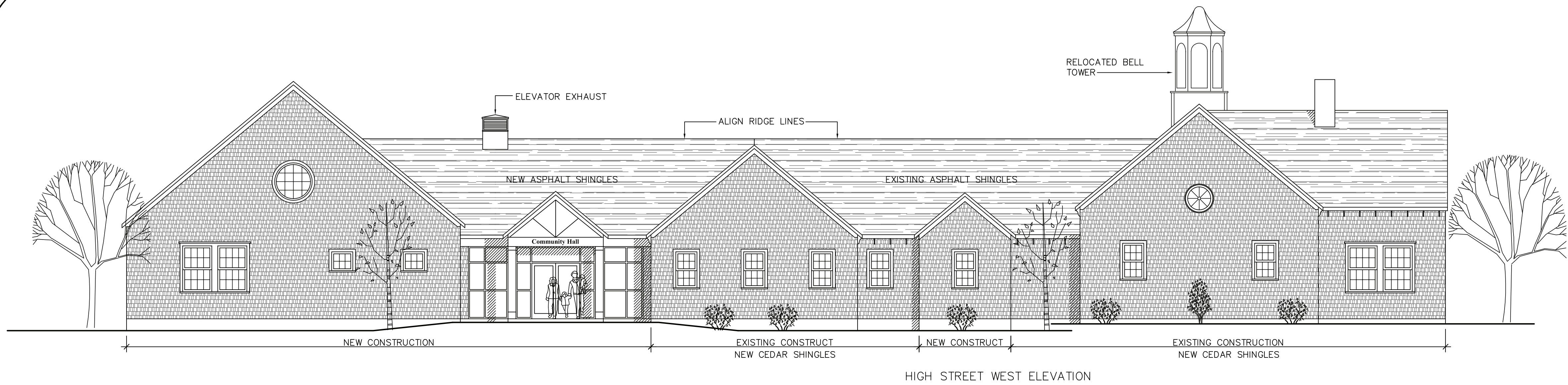
Historical Commission Abutter List for Subject Parcel 035050

All property owners within 300 feet of the subject property's boundaries

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
035011	SCUDDER, SCOTT M & ALICE H		PO BOX 333		COTUIT	MA	02635
03501200A	MARINO, THOMAS & JOSEPH T TRS	MARINO REALTY TRUST	4 CHASE LANE		FOXBOROUGH	MA	02035
03501200B	MEGATHLIN, DONALD E & KAREN B		PO BOX 125		COTUIT	MA	02635
03501200C	TAIT, JANE M TR	JANE M TAIT TRUST	925 MAIN STREET UNIT 3		COTUIT	MA	02635
03501200D	WALL, STEPHANIE G TR	STEPHANIE G WALL TRUST	PO BOX 840		COTUIT	MA	02635
03501200E	PAPADOPOULOS, ANGELA		277 BELGRADE AVE		ROSLINDALE	MA	02131
03501200F	SPINELLO, MICHAEL A		925 MAIN STREET UNIT 6		COTUIT	MA	02635
03501200G	MYERS, GLORIA Y		PO BOX 2034		COTUIT	MA	02635
03501200H	FITZGERALD, JASON W & KIMBERLY B	%KELLY, JACQUELYN M	225 HUBBARDSTON ROAD		PRINCETON	MA	01541
03501200I	TSARAS, PENNY		45 BELLEVUE HILL RD		WEST ROXBURY	MA	02132
03501200J	JAMESON, W GEORGE & ALICE T		1639 MADDUX LANE		MCLEAN	VA	22101
035013	RAPP, CHRIS P & ELAINE D TRS	CHRIS P&ELAINE D RAPP REVOCABLE TR 2019	3 FOXGLOVE COURT		NASHUA	NH	03062
035014	COTUIT FEDERATED CHURCH		PO BOX 436		COTUIT	MA	02635
035015	RAPP, JAN TR	CIRA REALTY TRUST	107 MILLWAY		BARNSTABLE	MA	02630

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
035016	HILL, GORDON J & ELIZABETH K TRS	HILL TRUST	PO BOX 1330		COTUIT	MA	02635
035022	MAIN & MAPLE HOLDINGS LLC	C/O GEOFFREY S EDELSON	6 PADDOCK LANE		ANDOVER	MA	01810
035023	MANGIAFICO, EDGAR S & JEAN C TRS	SCHOOL STREET REALTY TRUST	912 MAIN ST, UNIT307		CHATHAM	MA	02633
035024	CODY, DWIGHT H	C/O BOSTON CONNECTION INC	P O BOX 1835		COTUIT	MA	02635
035025	HURLEY, ROBERT J		PO BOX 1643		COTUIT	MA	02635
035027	HALE, THOMAS & SYDNEY A		P O BOX 1891		COTUIT	MA	02635
035047	CEDERHOLM, ERIC J & SARA MYCOCK		PO BOX 576		COTUIT	MA	02635
035048	PISANI, ANTHONY M & EMILIA E		95 ROBINWOOD AVENUE		BOSTON	MA	02130
035049	COTUIT FEDERATED CHURCH TR		40 SCHOOL STREET		COTUIT	MA	02635
035050	TRUSTEES OF COTUIT FEDERATED CHURCH		40 SCHOOL STREET		COTUIT	MA	02635
035051	BARNSTABLE, TOWN OF (REC)		367 MAIN STREET		HYANNIS	MA	02601
035052	MYCOCK, RONALD J		PO BOX 437		COTUIT	MA	02635
035053	PATCHIN, DONALD L & CHRISTOPHER TRS	MERMAID REALTY TRUST	PO BOX 41		CENTERVILLE	MA	02632
035054	LUFF, TIMOTHY J TR	SIX SCHOOL ST REALTY TRUST	6 SCHOOL STREET		COTUIT	MA	02635
035055	COTUIT LIBRARY ASSOC		MAIN STREET		COTUIT	MA	02635

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
035056	MCGEACH, DOUGLAS & DELLEA, NANCY		69 WOODMAN ROAD		SOUTH HAMPTON	NH	03827
035057	FIELD, FRED F TR	C/O FIELD, SUSAN DURELL	P O BOX 50		URBANNA	VA	23175-0050
035058	FIELD, PETER D		PO BOX 16		COTUIT	MA	02635
035059001	MCINNIS, CATHERINE LEVERONI TR	THE CATHERINE LEVERONI MCINNIS	FAMILY TRUST	PO BOX 1702	COTUIT	MA	02635
035059002	LEVERONI, TIMOTHY & DANIEL TRS	JTD HARBORVIEW REALTY TRUST	50 BRAINTREE HILL OFFICE PARK		BRAINTREE	MA	02184
035097	BIDDLE, KATRINE T	%GREER, HOWARD A & DIANE	31 HIGH STREET		COTUIT	MA	02635
035098	BARNSTABLE, TOWN OF (MUN)		367 MAIN STREET		HYANNIS	MA	02601
035099	NORRIS, BRENDA R & SCUDDER, GLENN F TRS	B&G REALTY TRUST	45 VERA DRIVE		BRIDGEWATER	MA	02324
035104	KAZANJIAN, JOYCE		PO BOX 1715		COTUIT	MA	02635



**PROPOSED ADDITION/RENOVATION
for
COTUIT FEDERATED CHURCH
40 SCHOOL STREET
COTUIT, MASSACHUSETTS**

THIS DRAWING REMAINS THE PROPERTY OF CONSERV GROUP INCORPORATED FOR ITS EXCLUSIVE USE IN COMPLETION OF THE CONSTRUCTION WORK DESCRIBED HEREIN

REVISIONS

DWG. INFO.

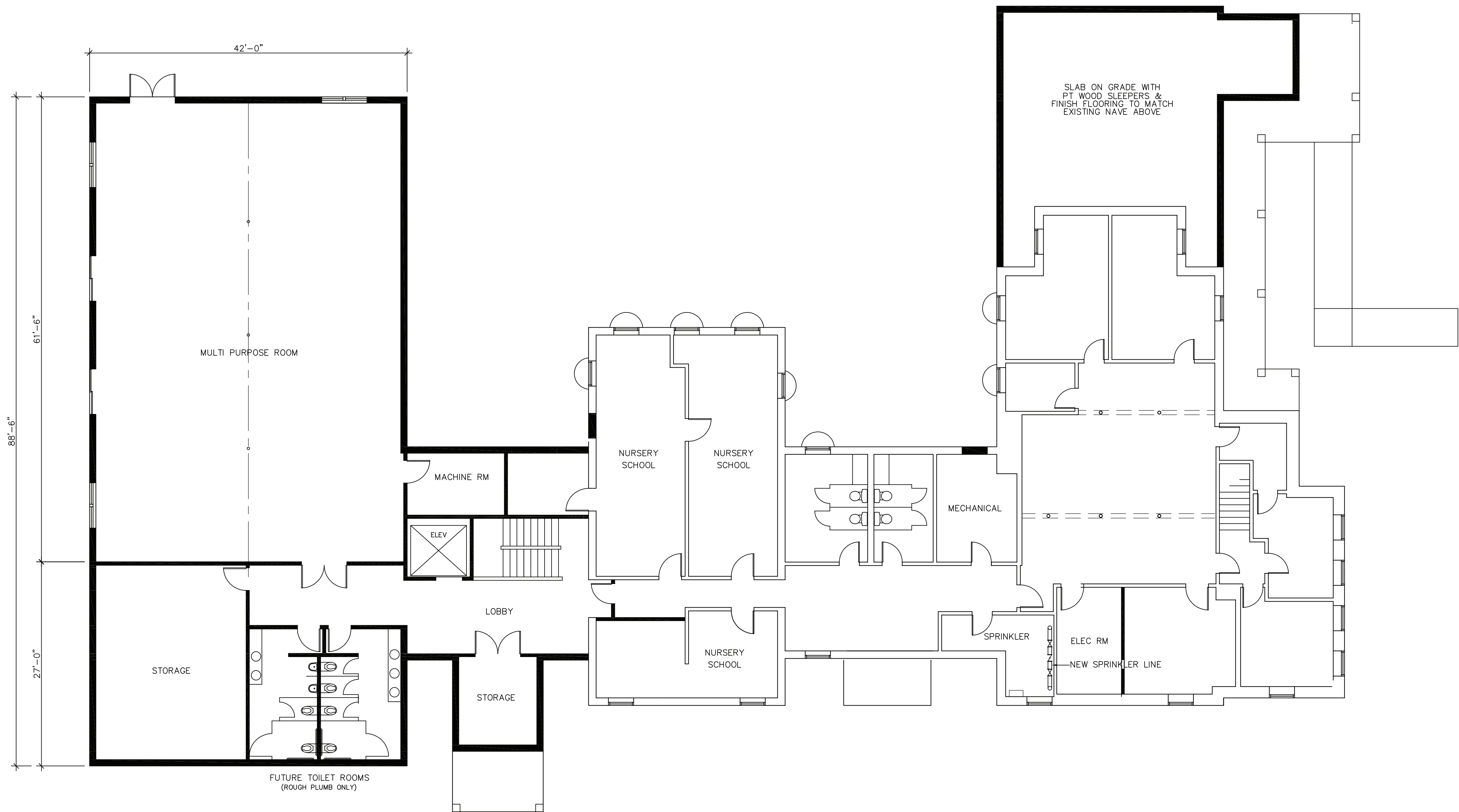
DATE	8-5-21
SCALE	1/8"=1'-0"
DRAWN	DJV
CHKD	
APPRVD	

Unless and until such time as the original stamp of the responsible Registered Architect appears on this plan:
(A) no person or persons, including any municipal or other public officials, may rely upon the information contained herein; and
(B) this plan remains the property of ConServ Group Inc.

**SHEET TITLE:
EXTERIOR
ELEVATIONS**

SHEET & JOB #:

**A201
#951**



ConSery

Group Incorporated

110 State Road, Suite 7
Sagamore Beach, MA 02562
Tel: 508-888-6555

PROPOSED ADDITION/RENOVATION
for
COTUIT FEDERATED CHURCH
40 SCHOOL STREET
COTUIT, MASSACHUSETTS

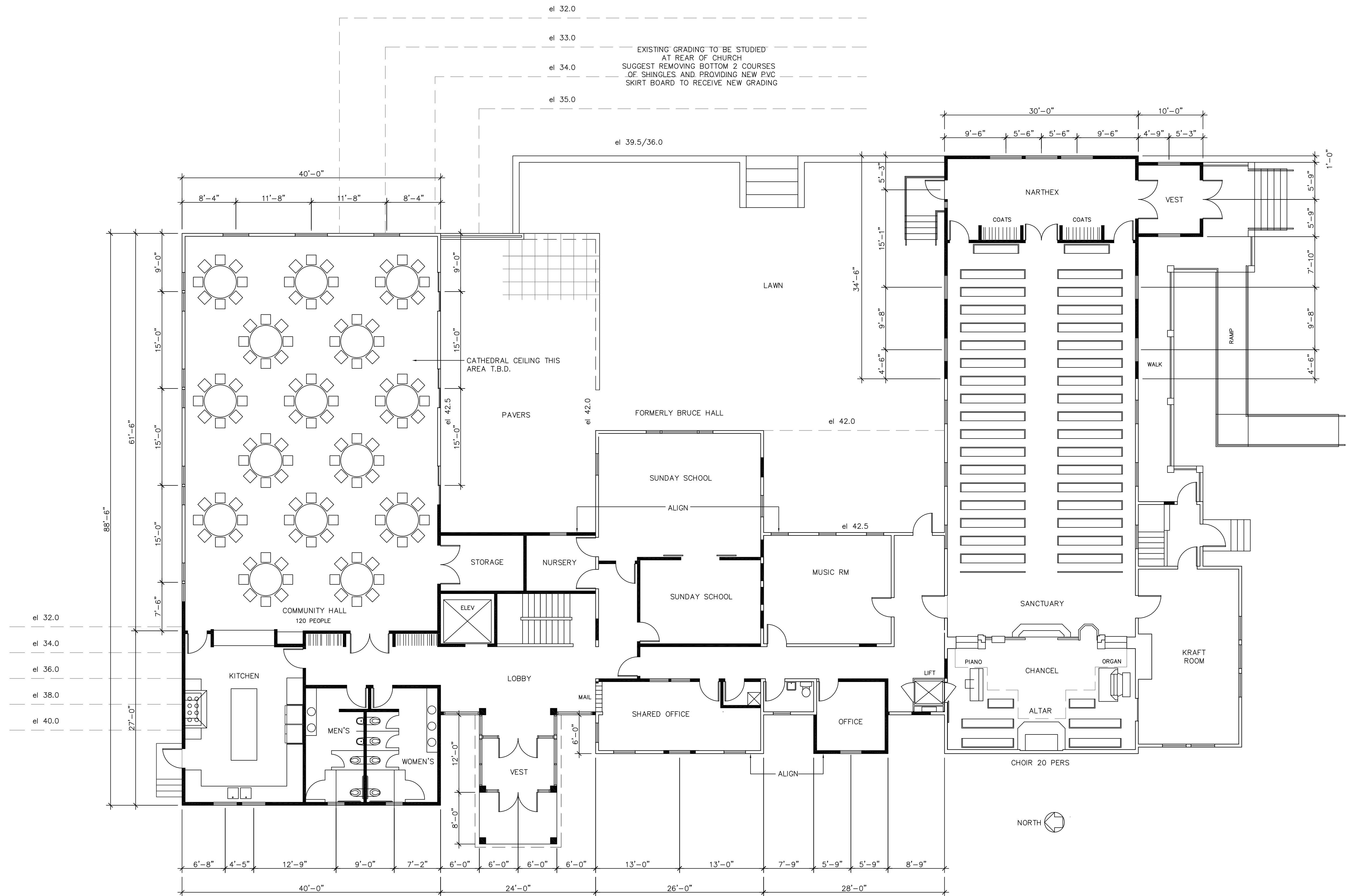
THIS DRAWING REMAINS THE PROPERTY OF CONSERV GROUP INCORPORATED FOR
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REVISIONS			
DWG. INFO.			
DATE	6-23-21		
SCALE	1/8"=1'-0"		
DRAWN	DJV		
CHKD			
APPRVD			

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information contained herein; and
(B) this plan remains the property of
ConSery Group Inc.

SHEET TITLE:
BASEMENT
PLAN

SHEET & JOB #:
-
-



PROPOSED ADDITION/RENOVATION
for
COTUIT FEDERATED CHURCH
40 SCHOOL STREET
COTUIT, MASSACHUSETTS

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REVISIONS

DWG. INFO.

DATE	6-23-21
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CHKD	
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CFC Stain Glass catalog

<u>QTY</u>	<u>IMAGE</u>	<u>NAME</u>	<u>CURRENT LOCATION</u>	<u>FUTURE LOCATION</u>
2		High St 102" x 60"	Sanctuary, West wall (Altar) <i>Note: Different image on 2nd window</i>	East Narthex exterior wall
2		Rectangle 42" x 42"	Attic	Narthex entrance/ Narthex vestibule note (1)
1		Crosby 52" x 45"	Attic	Narthex, north wall note (1)
2		Daigonal 52' x 45'	Attic	Narthex, inside wall note (1)
1		Kraft Rm 66" x 42"	Kraft Rm	Kraft Rm

Note (1): Discussion between ConServ & BET, Zoom meeting on May 19, 2021



TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

Town Clerk Stamp

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application June 25, 2021 ☐ Full Demotion ☒ Partial Demolition

Building Address: 17 Pearl Avenue
Number Street

Hyannis Assessor's Map # 287 Assessor's Parcel # 003
Village ZIP

Property Owner: Christian F. & Katherine N. Brunner (917) 826-2195
Name Phone#

Property Owner Mailing Address (if different than building address) 3 Sagamore Road, Wellesley, MA 02481

Property Owner e-mail address: katybrunner@icloud.com christianbrunner19@hotmail.com

Contractor/Agent: Gordon Clark, Northside Design Associates, Inc.

Contractor/Agent Mailing Address: 141 Main Street Yarmouthport, MA 02675

Contractor/Agent Contact Name and Phone #: Gordon Clark 508 362-9802
Name Phone #

Contractor/Agent Contact e-mail address: _____

Demolition Proposed - please itemize all changes:

Replace the existing inadequate CMU foundation, lift the house, construction a new foundation, expand the rear area to provide a 2 car garage with living space under the existing house, add an octagonal room space in the front southeast corner of the existing building.

Type of New Construction Proposed: 90% of existing house to remain

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1910 Additions Year Built: _____

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No ☒ Yes ☐

[Signature] AGENT
Property Owner/Agent Signature



northside design associates

141 main street yarmouth port MA 02675 (508) 362-2210 (508) 362-9802 (508) 362-5269 fax
email: northside1@comcast.net website: northsidedesign.com

Barnstable Historical Commission
367 Main Street
Hyannis, MA 02601

Re: 17 Pearl Avenue, Hyannis, MA

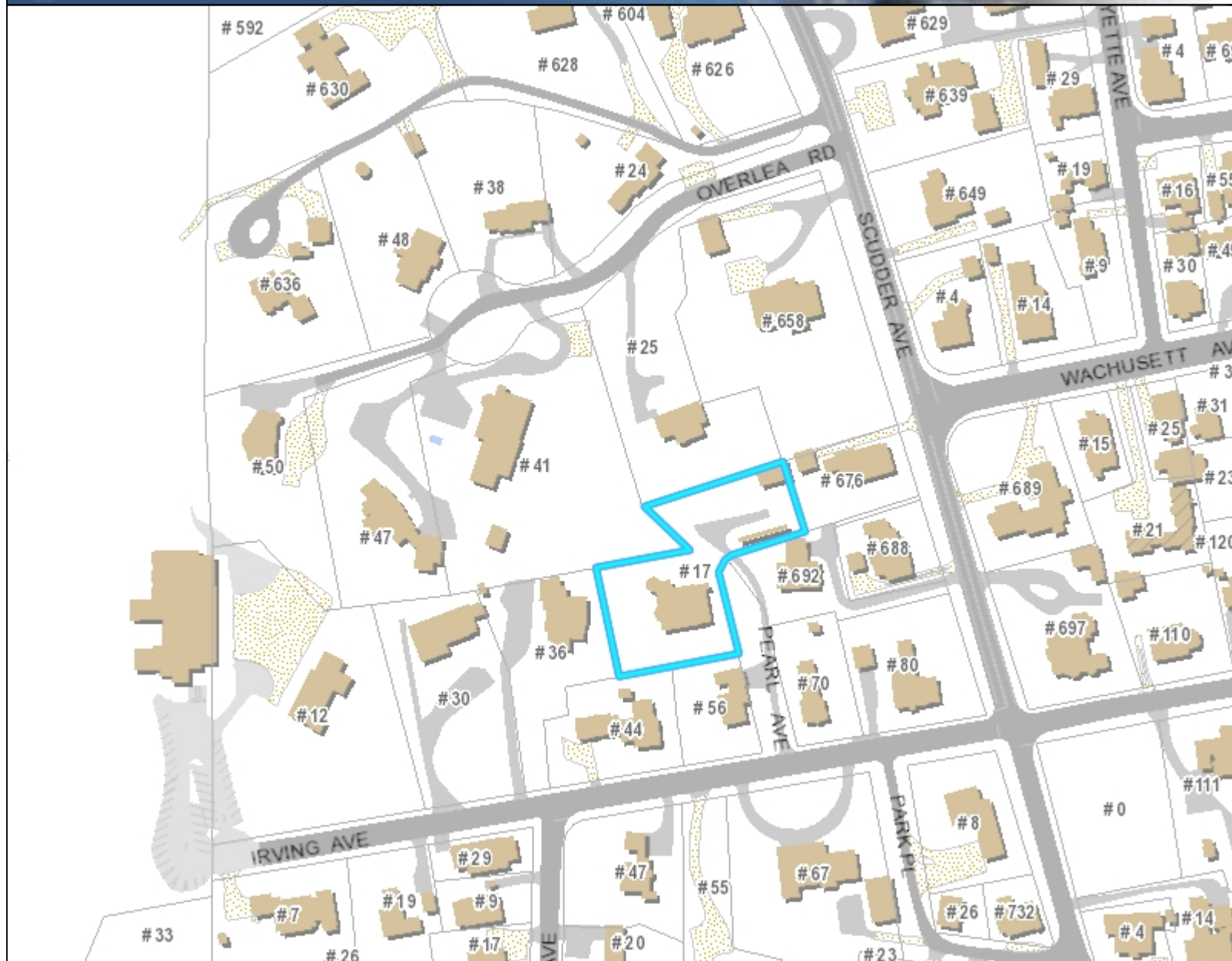
PROJECT NARRATIVE

This project is proposing to remodel the existing home with a plan to keep 90% of the existing house. It is proposed to replace the inadequate CMU foundation, lift the house, and construct a new foundation. After new foundation is constructed, renovations and additions would be undertaken.

The primary reason for this demolition filing is to allow an expansion to the house at the rear and provide 2 car garage with living space under the existing house. There is proposed an added octagonal room space in the front southeast corner of the existing building to capture the views of the harbor. That room would be treated in the same architectural style as the existing "tower" structure at the rear northwest corner.

Landscaping and driveways will connect to the existing access road.

No other options have been explored as 90% of the existing house is being kept. The new family simply requires more space.

**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
- Bridge
 - Bridge
- Paved Median
 - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 6/28/2021

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Map printed on: 6/28/2021

0 42 83 Feet

Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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**Town of Barnstable GIS Unit**

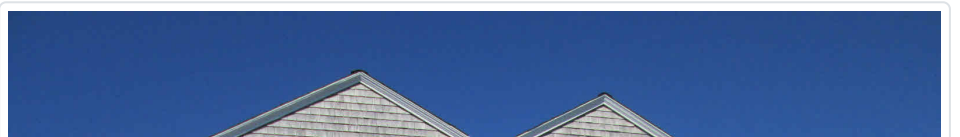
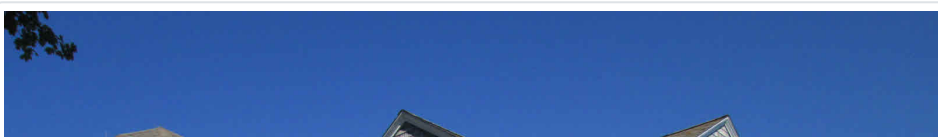
367 Main Street, Hyannis, MA 02601

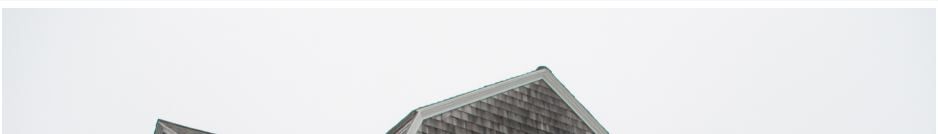
508-862-4624

gis@town.barnstable.ma.us

Sale History						
Line	Sale Date	Owner			Book/Page	Sale Price
1	10/19/2020	BRUNNER, CHRISTIAN F JR & KATHERINE N			33374/0140	\$2,171,400
2	05/03/2001	RYAN, ELLEN B & KINGSLEY, GAIL B TRS			13795/0136	\$1
3	04/15/1996	RYAN, ELLEN B & BURKE, WM J III TRS			10143/0114	\$1
4	12/15/1995	BURKE, HELEN D			9968/0281	\$1
5	04/16/1968	BURKE, WILLIAM J JR & HELEN D			1397/0532	\$0
▼ Assessment History						
Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2021	\$417,300	\$51,900	\$30,700	\$835,100	\$1,335,000
2	2020	\$384,000	\$54,200	\$26,200	\$835,100	\$1,299,500
3	2019	\$334,400	\$54,200	\$27,300	\$835,100	\$1,251,000
4	2018	\$254,100	\$53,300	\$23,600	\$832,100	\$1,163,100
5	2017	\$248,500	\$53,300	\$22,600	\$832,100	\$1,156,500
6	2016	\$248,500	\$53,300	\$22,600	\$816,500	\$1,140,900
7	2015	\$312,400	\$64,200	\$27,900	\$824,300	\$1,228,800
8	2014	\$312,400	\$64,200	\$28,500	\$824,300	\$1,229,400
9	2013	\$350,900	\$60,600	\$33,900	\$824,300	\$1,269,700
10	2012	\$347,000	\$57,400	\$28,900	\$783,700	\$1,217,000
11	2011	\$452,500	\$3,500	\$0	\$783,700	\$1,239,700
12	2010	\$452,500	\$3,500	\$500	\$783,700	\$1,240,200
13	2009	\$582,400	\$2,900	\$600	\$1,039,800	\$1,625,700
14	2008	\$523,200	\$2,900	\$600	\$1,083,700	\$1,610,400
16	2007	\$521,900	\$2,900	\$600	\$1,083,700	\$1,609,100
17	2006	\$460,000	\$2,900	\$900	\$1,083,900	\$1,547,700
18	2005	\$401,100	\$2,800	\$5,500	\$985,400	\$1,394,800
19	2004	\$309,500	\$2,800	\$5,500	\$985,400	\$1,303,200
20	2003	\$296,800	\$2,800	\$5,500	\$600,000	\$905,100
21	2002	\$296,800	\$2,800	\$5,500	\$600,000	\$905,100
22	2001	\$296,800	\$2,900	\$5,500	\$600,000	\$905,200
23	2000	\$263,500	\$2,500	\$5,500	\$287,300	\$558,800
24	1999	\$263,500	\$2,500	\$4,700	\$287,300	\$558,000
25	1998	\$253,900	\$2,500	\$4,700	\$287,300	\$548,400
26	1997	\$316,900	\$0	\$0	\$287,300	\$605,700
27	1996	\$316,900	\$0	\$0	\$287,300	\$605,700
28	1995	\$316,900	\$0	\$0	\$287,300	\$605,700
29	1994	\$306,600	\$0	\$0	\$258,600	\$566,700
30	1993	\$306,600	\$0	\$0	\$258,600	\$566,700
31	1992	\$348,500	\$0	\$0	\$287,300	\$637,500
32	1991	\$374,600	\$0	\$0	\$344,700	\$722,300
33	1990	\$374,600	\$0	\$0	\$344,700	\$722,300
34	1989	\$374,600	\$0	\$0	\$344,700	\$722,300
35	1988	\$191,300	\$0	\$0	\$147,500	\$343,600
36	1987	\$191,300	\$0	\$0	\$147,500	\$343,600
37	1986	\$191,300	\$0	\$0	\$147,500	\$343,600

▼ Photos







Gallery

Map

StreetView

Request a FREE Analysis



Schools

Crime

Noise

Flood

Lifestyle

Transit

Directions

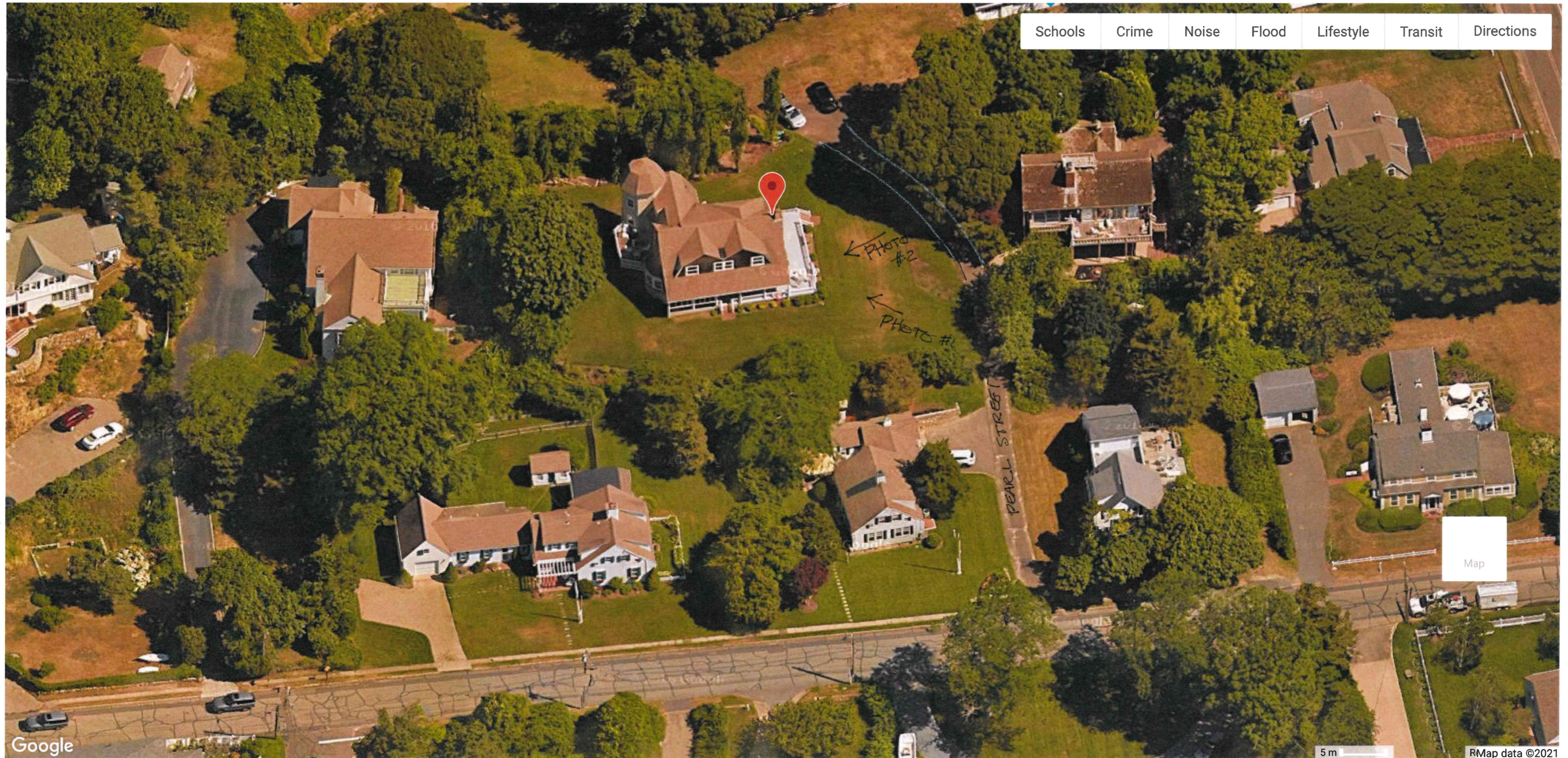


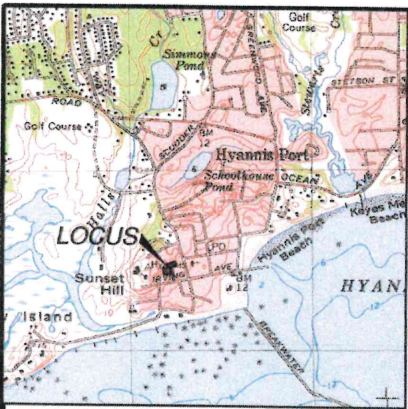


PHOTO #1 ABUTTING PEARL STREET

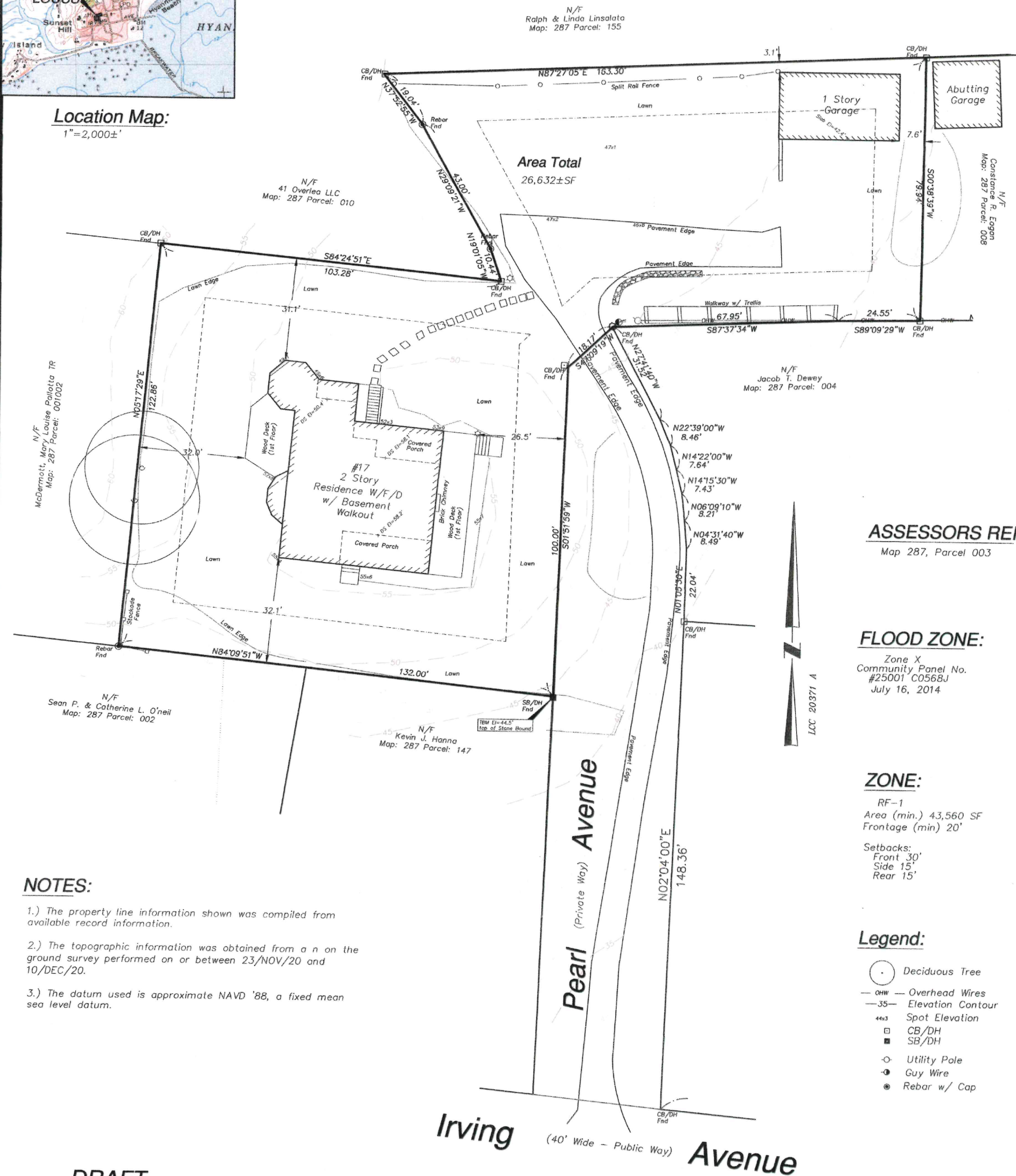


PHOTO #2 ABUTTING PEARL STREET





Location Map:
1"=2,000±'



ASSESSORS REF.:
Map 287, Parcel 003

FLOOD ZONE:
Zone X
Community Panel No.
#25001 C0568J
July 16, 2014

ZONE:
RF-1
Area (min.) 43,560 SF
Frontage (min) 20'
Setbacks:
Front 30'
Side 15'
Rear 15'

Legend:
Deciduous Tree
Overhead Wires
Elevation Contour
Spot Elevation
CB/DH
SB/DH
Utility Pole
Guy Wire
Rebar w/ Cap

NOTES:

- The property line information shown was compiled from available record information.
- The topographic information was obtained from a n on the ground survey performed on or between 23/NOV/20 and 10/DEC/20.
- The datum used is approximate NAVD '88, a fixed mean sea level datum.

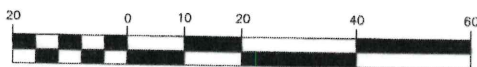
DRAFT

Title:
**Existing Conditions
Plan of Land at
17 Pearl Avenue
Barnstable (Hyannisport) Mass.**

Date: January 5, 2021

Scale: 1"=20'

PREPARED FOR:
Christian Brunner



PREPARED BY:

CapeSurv

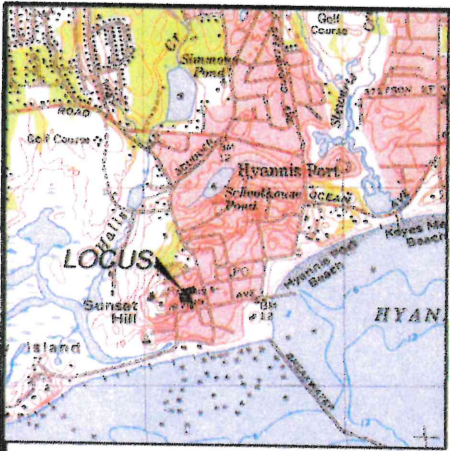
23 West Bay Rd, Suite C
Osterville MA 02655
(508) 420-3994 / 420-3995fax
www.capesurv.com

Field: WHK/ASK

Review: RRL

Comp/Draft: ASK/RRL

Drawing # WHK/ASK



Location Map:

1"=2,000±'

N/F
Rolph & Linda Linsalata
Map: 287 Parcel: 155

Area Total
26,632±SF

N/F
41 Overlea LLC
Map: 287 Parcel: 010

N/F
Constance R. Egan
Map: 287 Parcel: 008

N/F
Jacob T. Dewey
Map: 287 Parcel: 004

N/F
McDermott, Mary Louise Pallotta TR
Map: 287 Parcel: 001002

N/F
Sean P. & Catherine L. O'neil
Map: 287 Parcel: 002

N/F
Kevin J. Hanna
Map: 287 Parcel: 147

ASSESSORS REF.:
Map 287, Parcel 003

FLOOD ZONE:
Zone X
Community Panel No.
#25001 C0568J
July 16, 2014

ZONE:
RF-1
Area (min.) 43,560 SF
Frontage (min) 20'
Setbacks:
Front 30'
Side 15'
Rear 15'

Legend:

- Deciduous Tree
- OHW Overhead Wires
- 35 Elevation Contour
- 44.3 Spot Elevation
- CB/DH
- SB/DH
- Utility Pole
- Guy Wire
- Rebar w/ Cap

NOTES:

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- The topographic information was obtained from a n on the ground survey performed on or between 23/NOV/20 and 10/DEC/20.
- The datum used is approximate NAVD '88, a fixed mean sea level datum.

DRAFT

Title:
**Proposed Conditions
Plan of Land at
17 Pearl Avenue
Barnstable (Hyannisport) Mass.**

Date: **January 5, 2021**

Scale: **1"=30'**

PREPARED FOR:

Christian Brunner

PREPARED BY:

CapeSurv

23 West Bay Rd, Suite G
Osterville MA 02655
(508) 420-3994 / 420-3995fax
www.capesurv.com

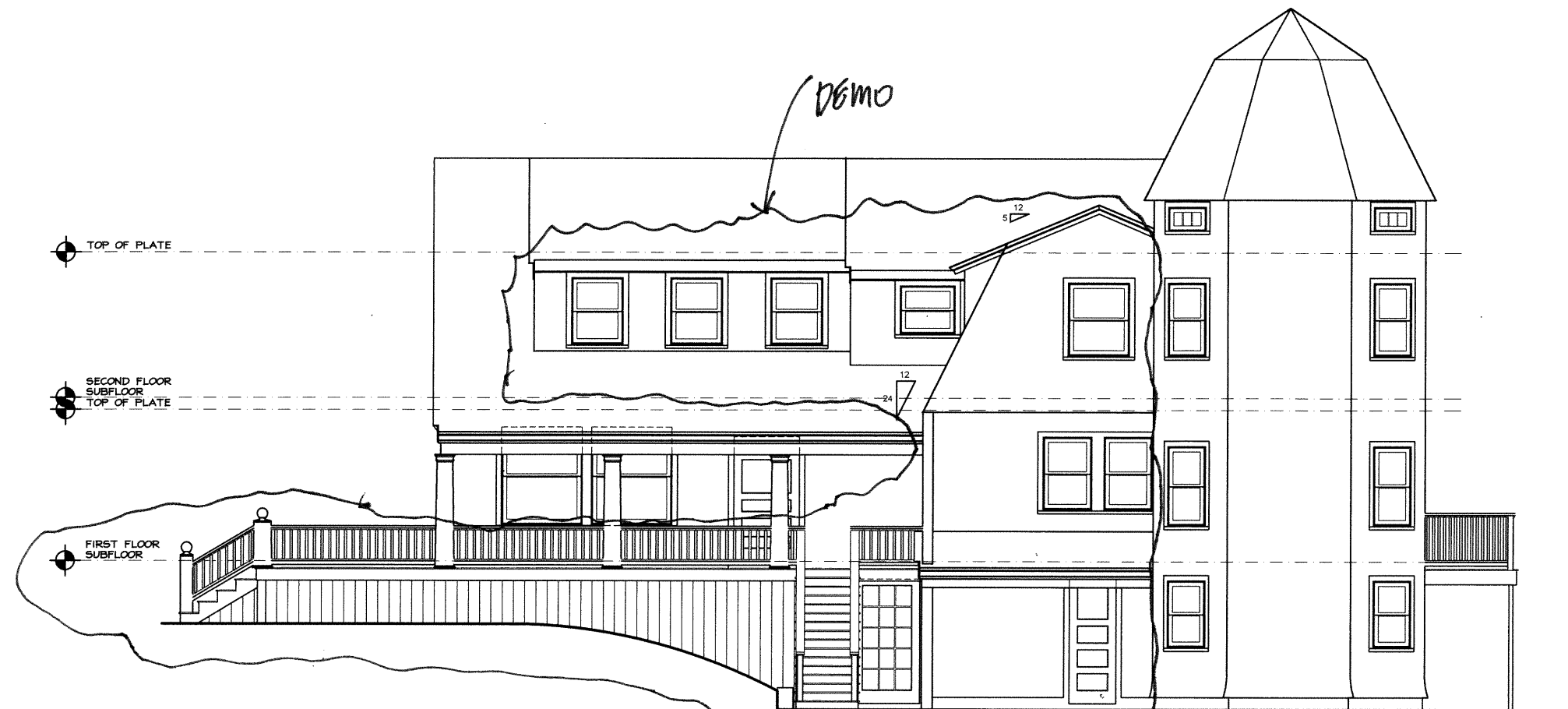
Field: WHK/ASK

Comp/Draft: ASK/RRL

Review: RRL

Drawing # WHK/ASK





RIGHT SIDE ELEVATION
NORTH



REAR ELEVATION
WEST

GENERAL NOTES

1. ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. UNLESS OTHERWISE NOTED.
2. ALL INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL VERIFY ALL WINDOW ROUGH OPENINGS PRIOR TO ORDERING WINDOWS.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY MISSING OR INCORRECT DIMENSIONS NOT BROUGHT TO THE ATTENTION OF THE DESIGNER.

NO.	REVISION	DATE

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BUILDER:

DESIGNER: NORTHSIDE
DESIGN
ASSOCIATES

DISTINCTIVE RESIDENTIAL & COMMERCIAL DESIGN
141 MAIN STREET * YARMOUTHPORT * MA 02675
(508) 362-2210 (508) 362-9802
NORTHSIDEDESIGN.COM
NORTHSIDE1@COMCAST.NET

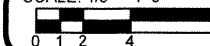
STRUCTURAL ENGINEER:
TAYLOR
DESIGN LLC

STAMP:

PROJECT:
EXISTING
BRUNNER
RESIDENCE
17 PEARLE AVE
BARNSTABLE, MA.

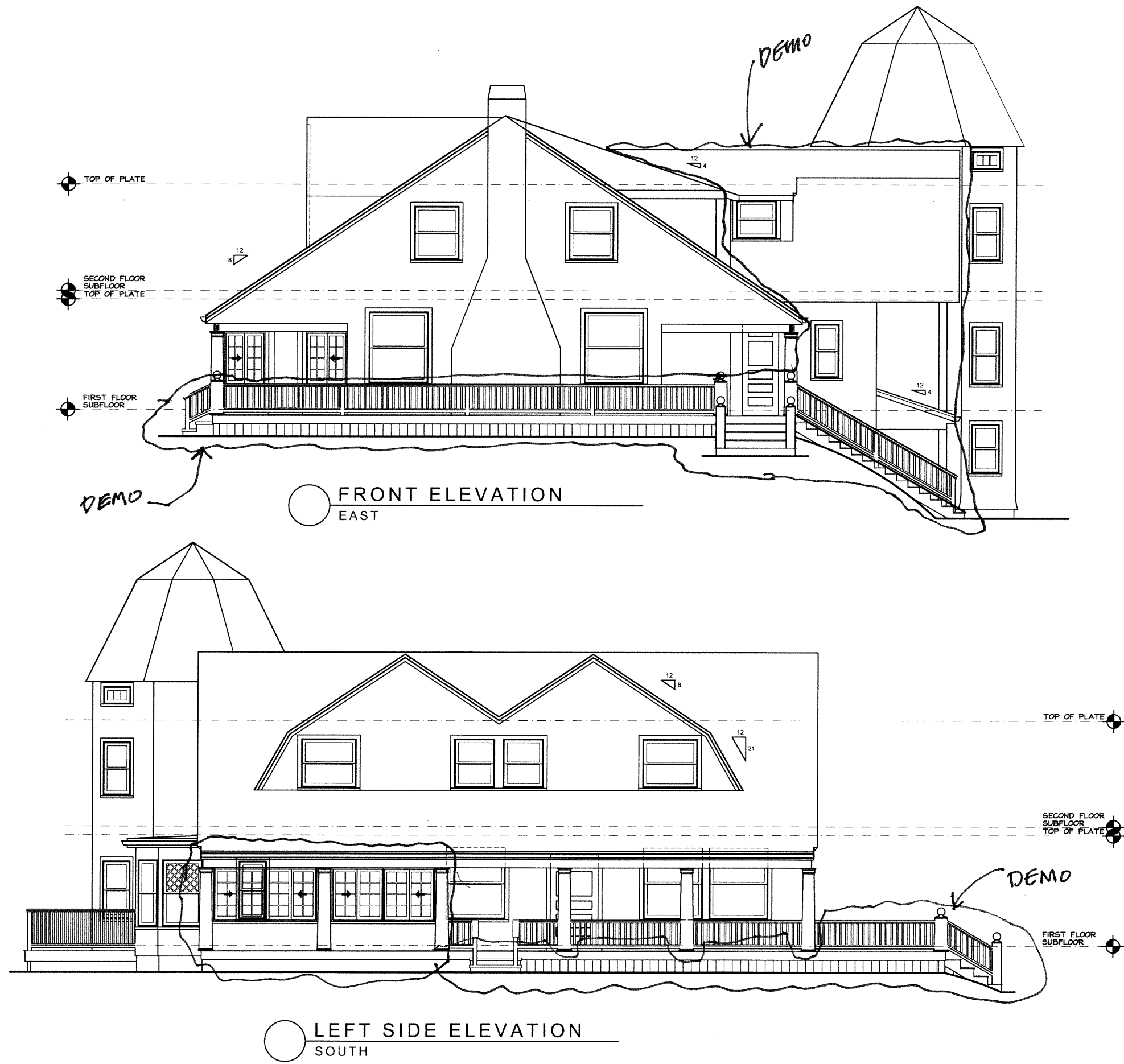
TITLE:
ELEVATIONS

SCALE: 1/8" = 1'-0"



PROJECT #:
20-34
DATE:
1/26/21

SHEET
EX.5
OF
5



- GENERAL NOTES
1. ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. UNLESS OTHERWISE NOTED.
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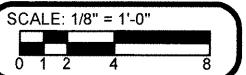
BUILDER:

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(508) 362-2210 (508) 362-9802
NORTHSIDEDESIGN.COM
NORTHSIDE1@COMCAST.NET

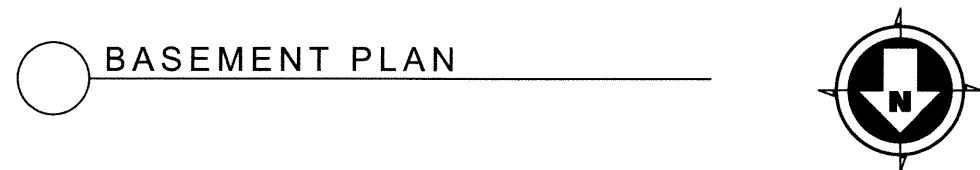
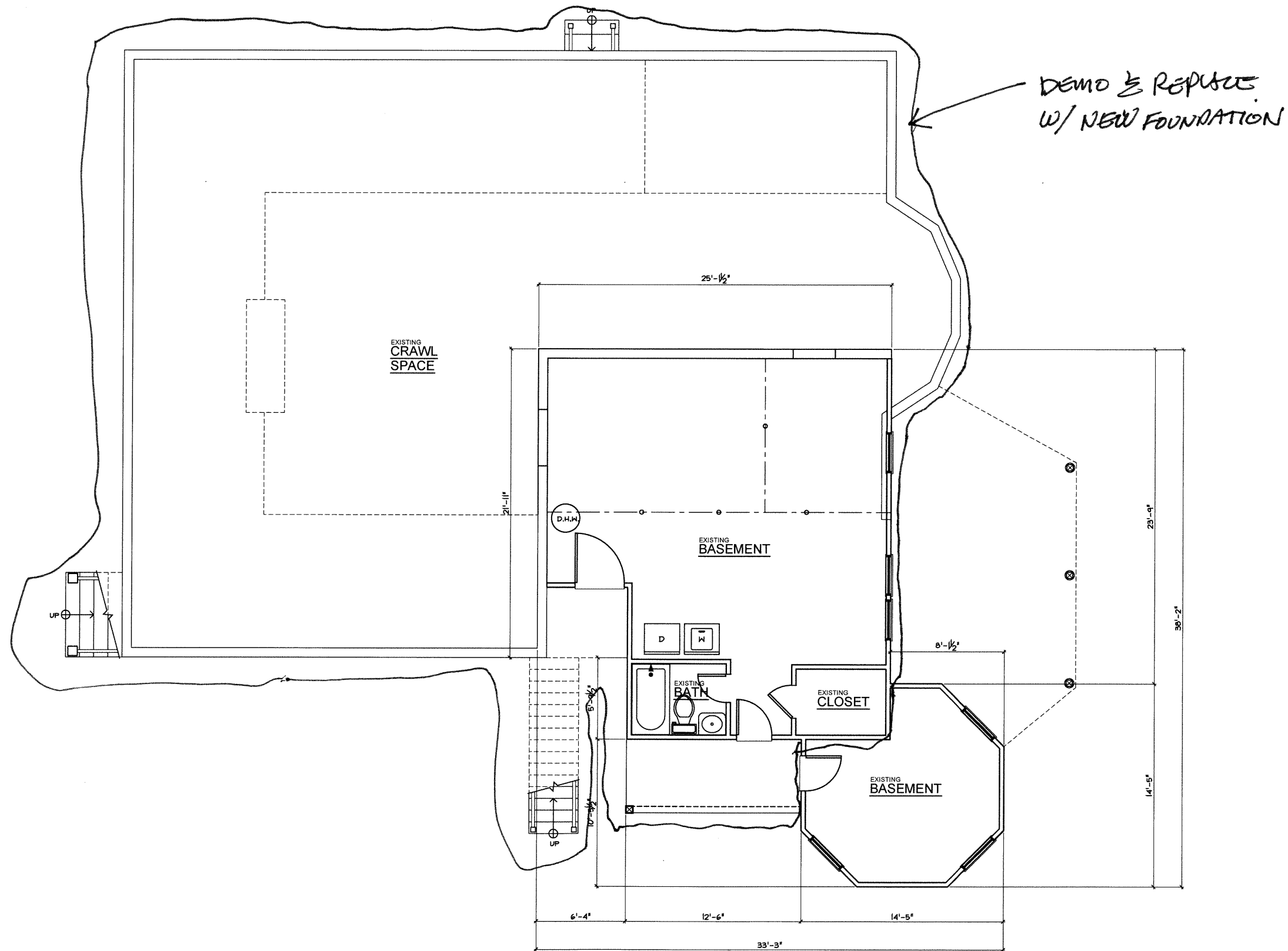
STRUCTURAL ENGINEER:
TAYLOR
DESIGN LLC
STAMP:

PROJECT :
EXISTING
BRUNNER
RESIDENCE
17 PEARLE AVE
BARNSTABLE, MA.

TITLE :
ELEVATIONS



PROJECT #:	SHEET
20-34	EX.4
DATE:	OF
1/26/21	5



GENERAL NOTES

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(508) 362-2210 (508) 362-9802
NORTHSIDEDESIGN.COM
NORTHSIDE1@COMCAST.NET

STRUCTURAL ENGINEER:
TAYLOR
DESIGN LLC

STAMP:

PROJECT :
EXISTING
BRUNNER
RESIDENCE
17 PEARLE AVE
BARNSTABLE, MA.

TITLE :
BASEMENT
PLAN

SCALE: 1/8" = 1'-0"
0 1 2 4 8

PROJECT #: 20-34	SHEET EX. 1
DATE: 1/26/21	OF 5

GENERAL NOTES

1. ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. UNLESS OTHERWISE NOTED.
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NORTHSIDEDESIGN.COM
NORTHSIDE1@COMCAST.NET

STRUCTURAL ENGINEER:
TAYLOR
DESIGN LLC

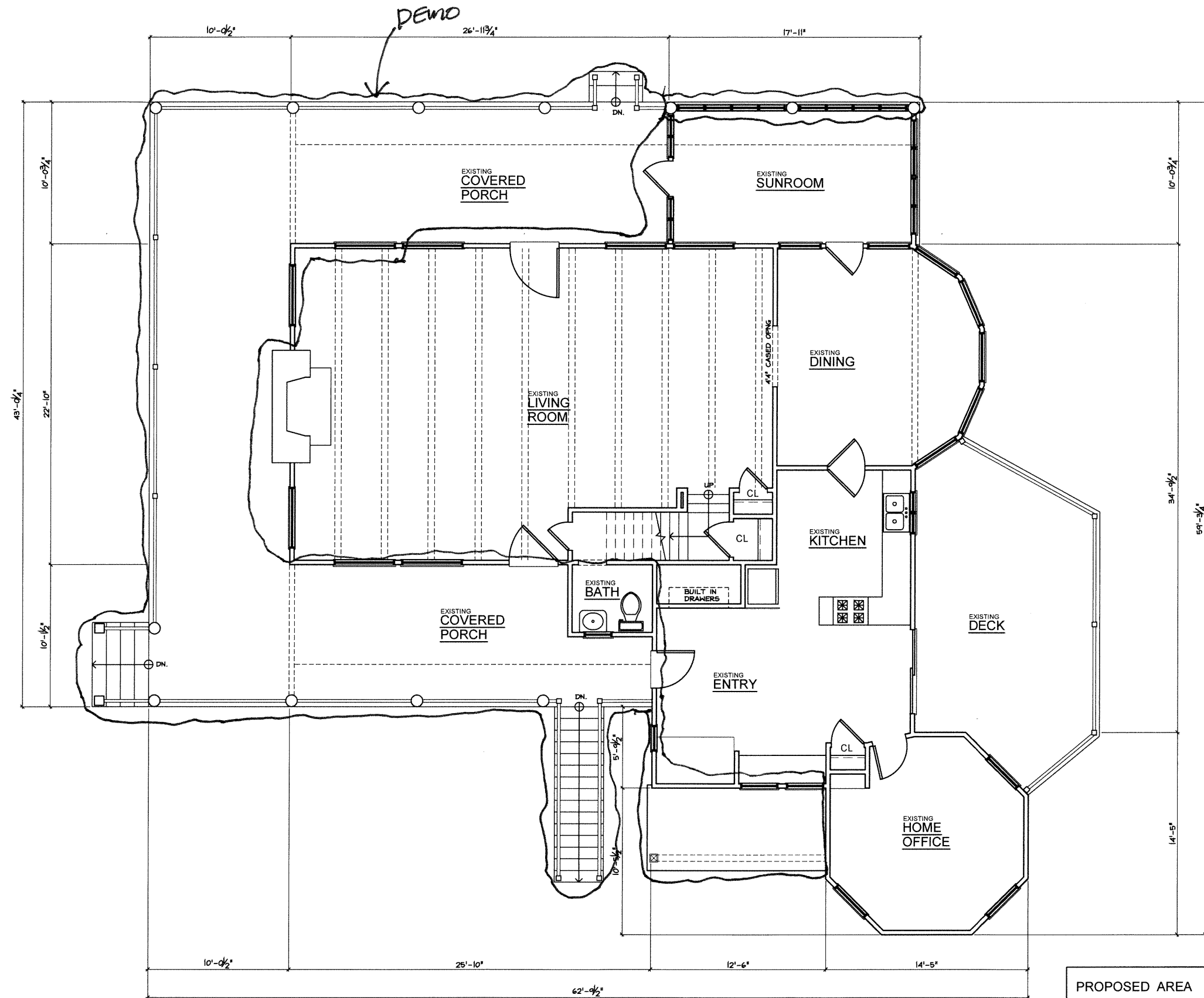
STAMP:

PROJECT :
EXISTING
BRUNNER
RESIDENCE
17 PEARLE AVE
BARNSTABLE, MA.

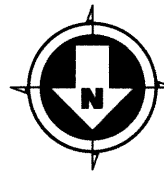
TITLE :
FIRST FLOOR
PLAN

SCALE: 1/8" = 1'-0"
0 1 2 4 8

PROJECT #:	SHEET
20-34	EX.2
DATE:	OF
1/26/21	5

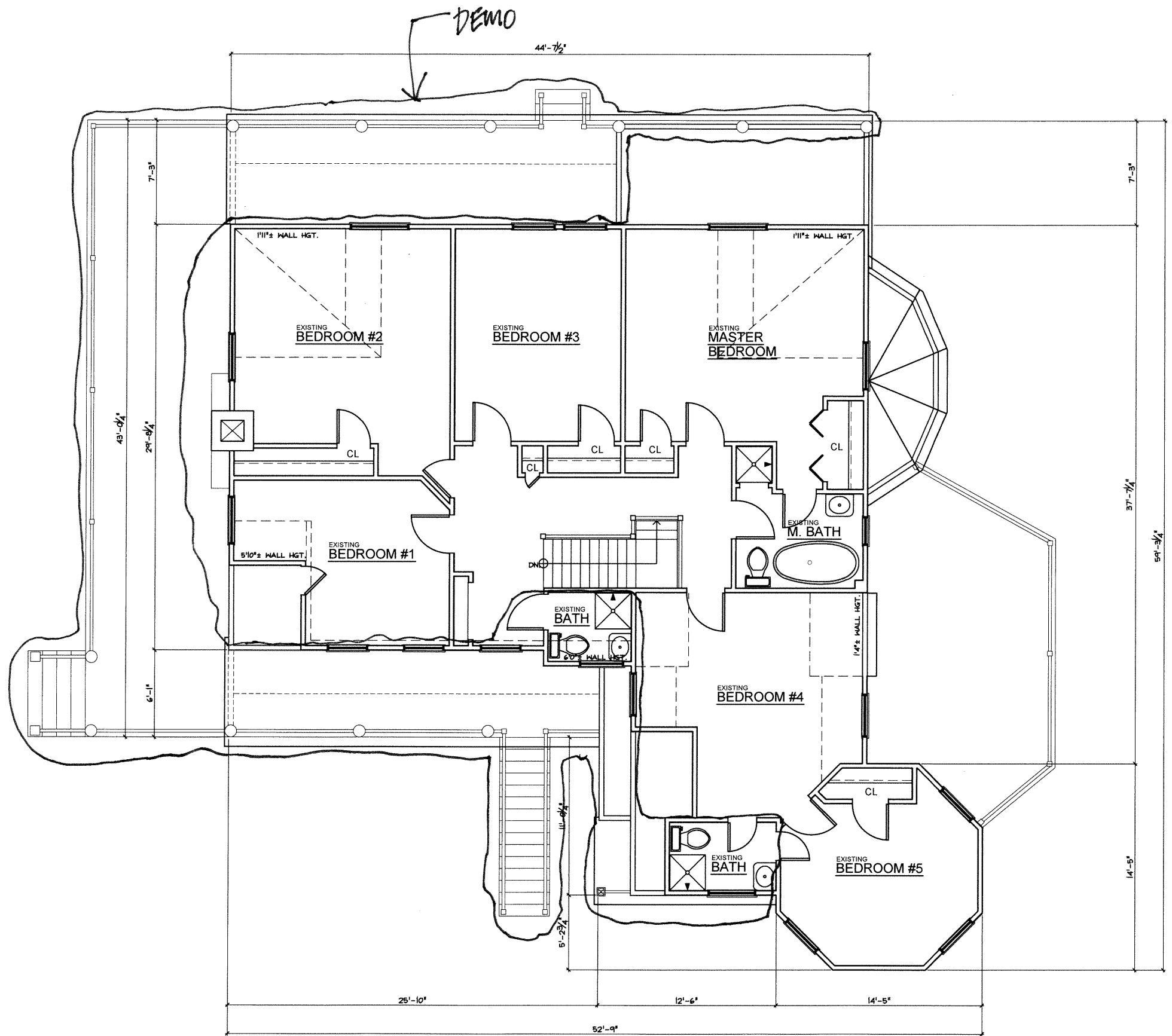


FIRST FLOOR PLAN

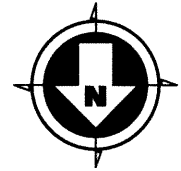


PROPOSED AREA

FIRST FLOOR LIVING	925 SF
SECOND FLOOR LIVING	1627 SF
TOTAL LIVING AREA	2552 SF
COVERED PORCH/ PORCH	925 SF
DECK	270 SF
FULL BASEMENT	794 SF
TOTAL AREA	4541 SF



○ SECOND FLOOR PLAN



GENERAL NOTES

1. ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. UNLESS OTHERWISE NOTED.
2. ALL INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL VERIFY ALL WINDOW ROUGH OPENINGS PRIOR TO ORDERING WINDOWS.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY MISSING OR INCORRECT DIMENSIONS NOT BROUGHT TO THE ATTENTION OF THE DESIGNER.

NO.	REVISION	DATE

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(508) 362-2210 (508) 362-9802
NORTHSIDEDESIGN.COM
NORTHSIDE1@COMCAST.NET

STRUCTURAL ENGINEER: TAYLOR DESIGN LLC

STAMP:

PROJECT :
EXISTING
BRUNNER
RESIDENCE
17 PEARLE AVE
BARNSTABLE, MA.

TITLE :
SECOND FLOOR
PLAN

SCALE: 1/8" = 1'-0"
0 1 2 4 8

PROJECT #: 20-34	SHEET EX.3
DATE: 1/26/21	OF 5



GENERAL NOTES

1. ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. UNLESS OTHERWISE NOTED.
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(508) 362-2210 (508) 362-9802
NORTHSIDEDESIGN.COM
NORTHSIDE1@COMCAST.NET

STRUCTURAL ENGINEER:
TAYLOR
DESIGN LLC

STAMP:

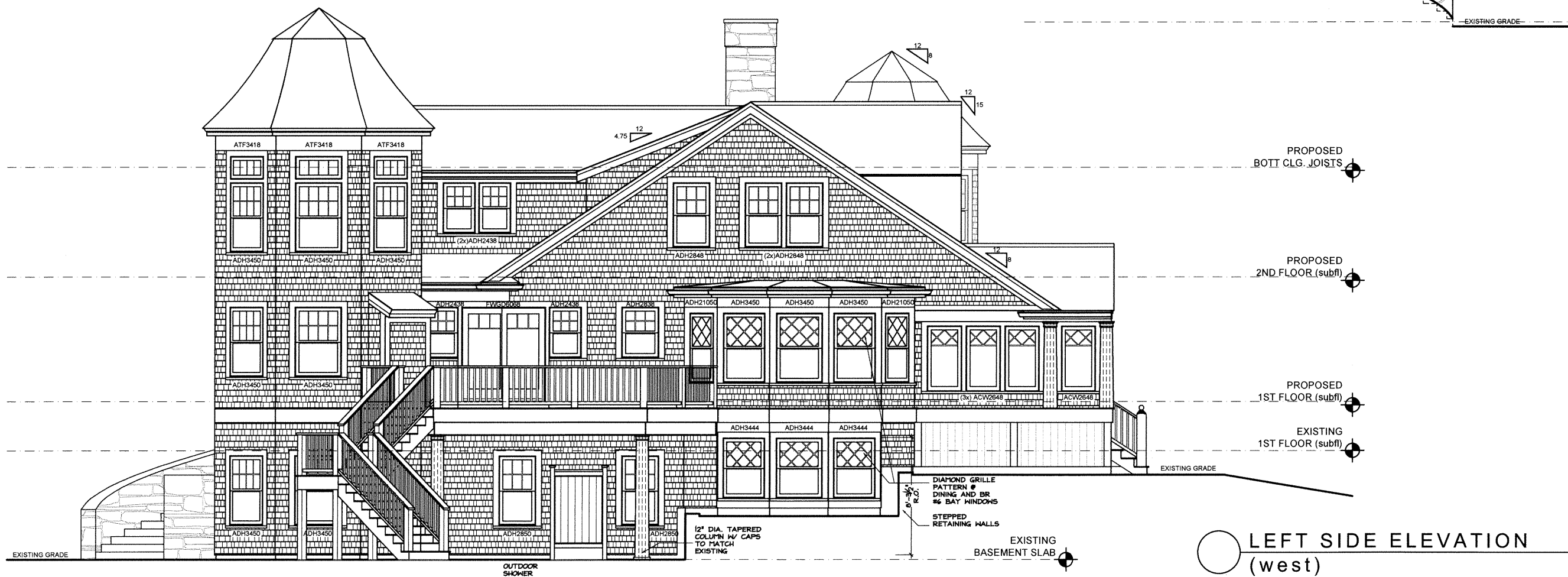
PROJECT:
PROPOSED
BRUNNER
RESIDENCE
17 PEARL AVE.
HYANNISPORT, MA.

TITLE:
FRONT ELEVATION
OPTIONS 1&2

SCALE: 1/8" = 1'-0"
0 1 2 4 8

PROJECT #: 20-34	SHEET A.4
DATE: 6/16/21	OF 5

RIGHT SIDE ELEVATION
(east)



LEFT SIDE ELEVATION
(west)

GENERAL NOTES

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STRUCTURAL ENGINEER:
TAYLOR
DESIGN LLC

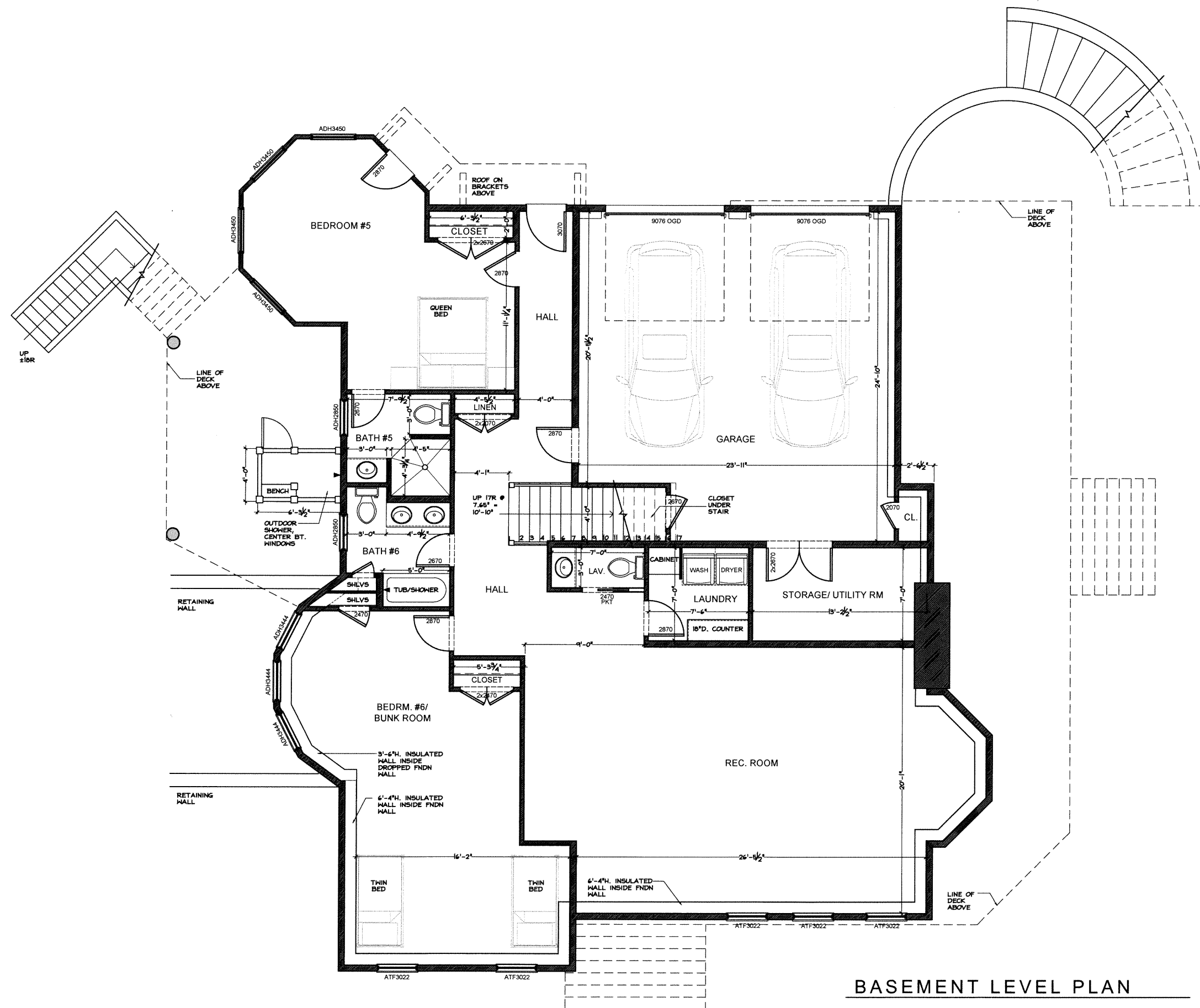
STAMP:

PROJECT :
PROPOSED
BRUNNER
RESIDENCE
17 PEARL AVE.
HYANNISPORT, MA.

TITLE :
RIGHT ELEVATION
OPTIONS 1&2

SCALE: 1/8" = 1'-0"
0 1 2 4 8

PROJECT #:	SHEET
20-34	A.5
DATE:	OF
6/16/21	5



GENERAL NOTES

NO.	REVISION	DATE
-----	----------	------

BUILDER:

STRUCTURAL ENGINEER:
TAYLOR
DESIGN LLC

TITLE :

PROJECT #:

SHEET

GENERAL NOTES

1. ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. UNLESS OTHERWISE NOTED.

2. ALL INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.

3. CONTRACTOR SHALL VERIFY ALL WINDOW ROUGH OPENINGS PRIOR TO ORDERING WINDOWS.

4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY MISSING OR INCORRECT DIMENSIONS NOT BROUGHT TO THE ATTENTION OF THE DESIGNER.

NO.	REVISION	DATE

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PERMISSION AND CONSENT OF
NORTHSIDE DESIGN ASSOCIATES.

BUILDER:

DESIGNER: NORTHSIDE
DESIGN
ASSOCIATES

DISTINCTIVE RESIDENTIAL & COMMERCIAL DESIGN
141 MAIN STREET * YARMOUTHPORT * MA 02675
(508) 362-2210 (508) 362-9802
NORTHSIDEDESIGN.COM
NORTHSIDE1@COMCAST.NET

STRUCTURAL ENGINEER:
TAYLOR
DESIGN LLC

STAMP:

PROJECT:

PROPOSED
BRUNNER
RESIDENCE
17 PEARL AVE.
HYANNISPORT, MA.

TITLE:

2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"

0	1	2	4	8
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PROJECT #:

20-34

DATE:

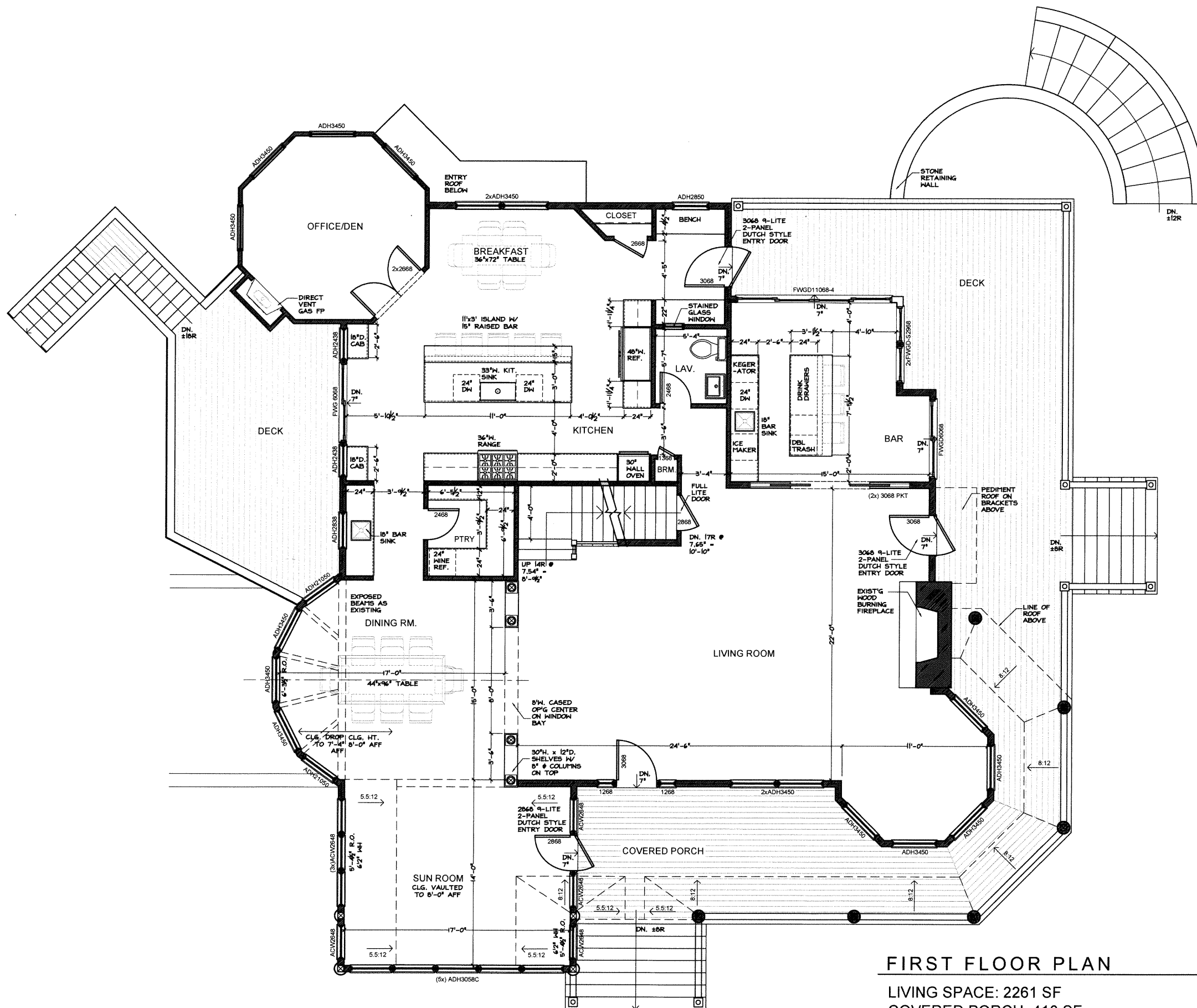
6/16/21

SHEET

A.2

OF

5



FIRST FLOOR PLAN

LIVING SPACE: 2261 SF
COVERED PORCH: 410 SF
UNCOVERED DECKS: 769 SF

- GENERAL NOTES
1. ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. UNLESS OTHERWISE NOTED.
 2. ALL INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.
 3. CONTRACTOR SHALL VERIFY ALL WINDOW ROUGH OPENINGS PRIOR TO ORDERING WINDOWS.
 4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY MISSING OR INCORRECT DIMENSIONS NOT BROUGHT TO THE ATTENTION OF THE DESIGNER.

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BUILDER:

DESIGNER: NORTHSIDE
DESIGN
ASSOCIATES

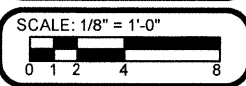
DISTINCTIVE RESIDENTIAL & COMMERCIAL DESIGN
141 MAIN STREET * YARMOUTHPORT * MA 02675
(508) 362-2210 (508) 362-9802
NORTHSIDEDESIGN.COM
NORTHSIDE1@COMCAST.NET

STRUCTURAL ENGINEER:
TAYLOR
DESIGN LLC

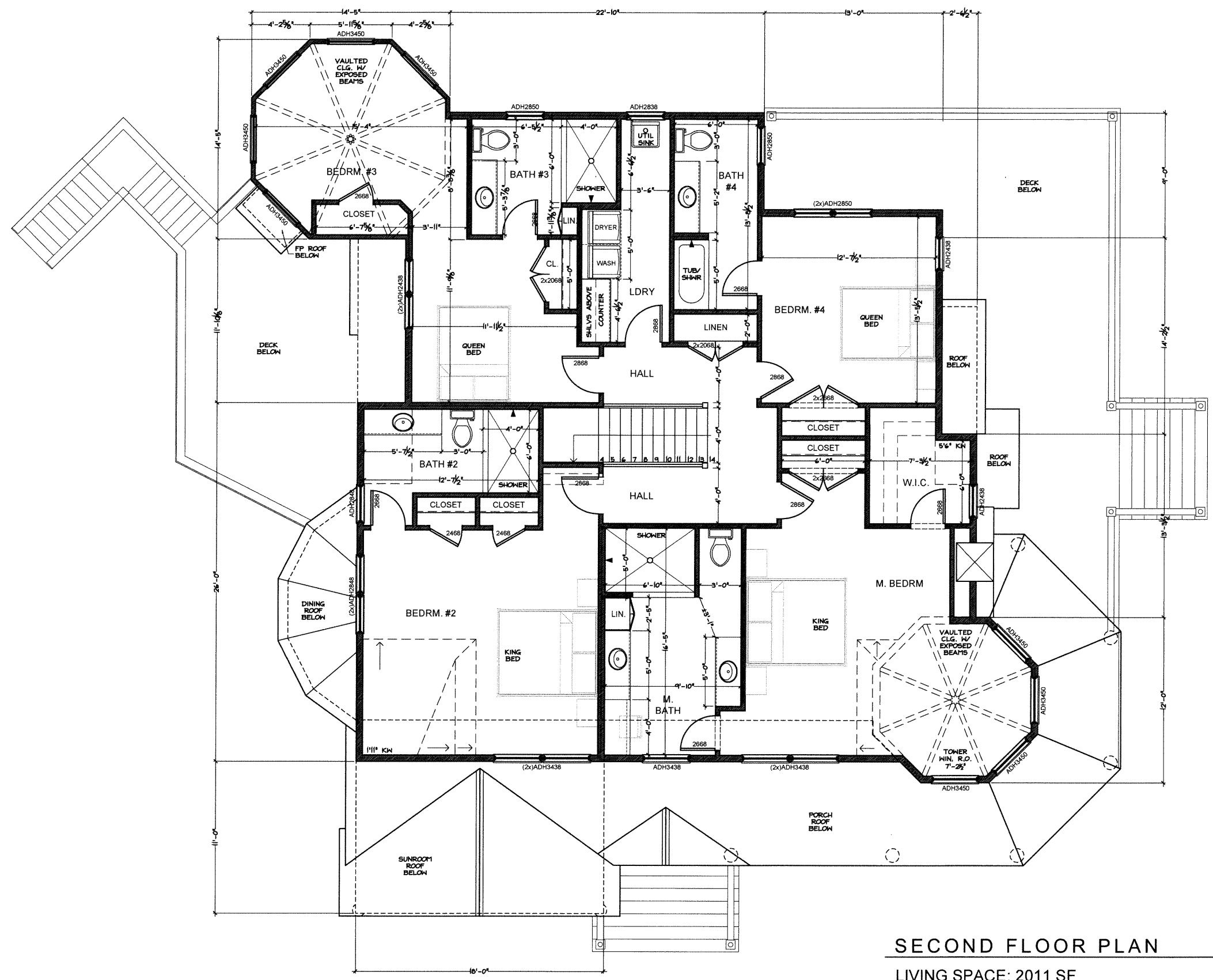
STAMP:

PROJECT :
PROPOSED
BRUNNER
RESIDENCE
17 PEARL AVE.
HYANNISPORT, MA.

TITLE :
3RD FLOOR PLAN



PROJECT #:	SHEET
20-34	A.3
DATE:	OF
6/16/21	5



SECOND FLOOR PLAN
LIVING SPACE: 2011 SF

From: Sarah Korjeff [mailto:skorjeff@capecodcommission.org]
Sent: Friday, July 16, 2021 10:52 AM
To: Logan, Erin
Cc: McPherson, Gloria
Subject: Re: Request for review - 17 Pearl Avenue, Hyannis

Hi Erin,

I reviewed the application materials submitted for 17 Pearl Avenue and have the following comments for consideration by the Barnstable Historical Commission.

The home at 17 Pearl Avenue is a contributing building within the Hyannis Port National Register Historic District. It is sited behind structures on Irving Avenue but is visible from the street. The historic inventory notes the building was constructed circa 1900 in the Queen Anne architectural style. While I have not visited the site and have viewed the building only in photographs, its distinctive original architectural features appear to be its large sloping gable roof form and deep porches with columns spanning the north and south facades, its south-facing dormer with double gambrel roof form, and its stone chimney on the east facade. The rear ell and tower on the northwest corner and the bay window on the west facade are also distinctive features but they appear to be later additions. While some portions of the original porches have been enclosed and decks have been added, their original form has been maintained.

The proposed plans involve many changes to the historic building: elevating the structure approximately 3 feet and adding a visible half story beneath the first floor, adding a tower and octagonal porch to the southeast corner of the building, adding a small projecting gable addition to the left side of the south facade, changing the porch columns and detailing on the rest of the south-facing porch, and removing the north porch and existing north ell and replacing them with several larger rear ells.

Given that the proposed work would change several character-defining features of the building, specifically altering most of the porch on the south-facing facade, eliminating the porch on the north-facing facade, and significantly increasing the scale of the building with a new visible half story and a large addition that covers the north facade, Commission staff believes the proposed changes would constitute a "substantial alteration" triggering Development of Regional Impact review by the Cape Cod Commission. Staff suggests that if the

project design were altered to better preserve the building's existing original features by retaining most of the original porch configuration on the south facade, reducing the impact of the new tower on the porch and southeast corner of the building, preserving at least a portion of the north porch and original roof slope on the north facade, and reducing the prominence of the large north addition and the elevated half story, the project may be deemed an appropriate expansion of the historic structure.

Please feel free to contact me if you have questions about my comments.

Sincerely,
Sarah

Sarah Korjeff
Historic Preservation Specialist/Planner
Cape Cod Commission
3225 Main Street/P.O. Box 226
Barnstable, MA 02630
508-362-3828 (front desk)
508-744-1215 (direct)

From: Logan, Erin <Erin.Logan@town.barnstable.ma.us>

Sent: Tuesday, July 6, 2021 11:00 AM

To: Sarah Korjeff <skorjeff@capecodcommission.org>

Cc: McPherson, Gloria <Gloria.Mcpherson@town.barnstable.ma.us>; Gordon Clark <Gordon@northsidedesign.com>

Subject: RE: Request for review - 17 Pearl Avenue, Hyannis

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

Town Clerk Stamp

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 7/19/12 ☒ Full Demotion ☐ Partial Demolition

Building Address: 20 Grand Island Drive
Number Street

Centerville 02655 Assessor's Map # 072 Assessor's Parcel # 014
Village ZIP

Property Owner: Brian Dacey 771-1040
Name Phone #

Property Owner Mailing Address (if different than building address) PO Box 95, Centerville MA

Property Owner e-mail address: brian@baysidebuilding.com

Contractor/Agent: Bayside Building

Contractor/Agent Mailing Address: PO Box 95, Centerville

Contractor/Agent Contact Name and Phone #: 508-771-1040 Nick Bowes
Name Phone #

Contractor/Agent Contact e-mail address: nick@baysidebuilding.com

Demolition Proposed - please itemize all changes:

Demolition of all structures existing on property

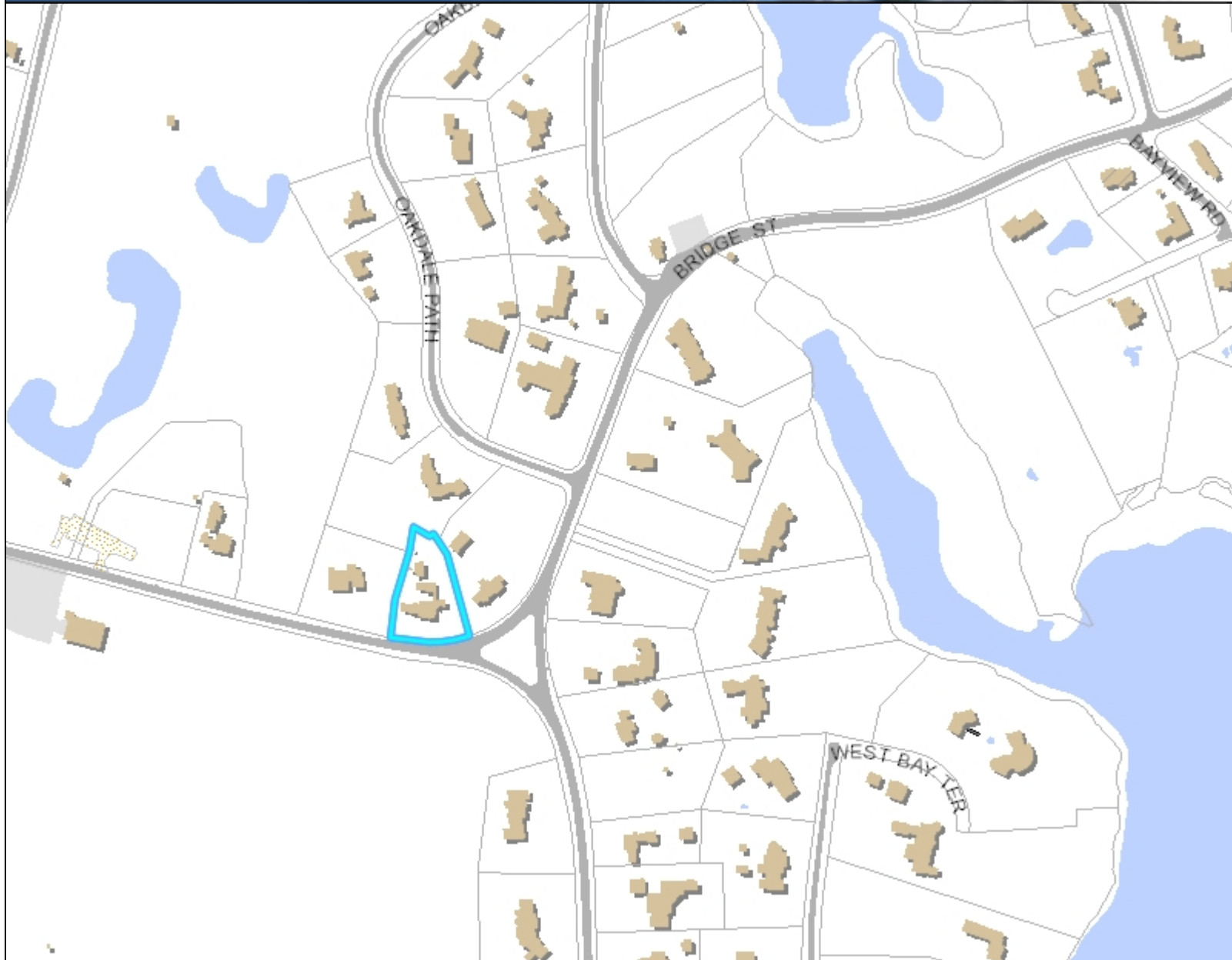
Type of New Construction Proposed: Cape Style home per attached plan

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1939 Additions Year Built: _____

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No ☒ Yes ☐

Property Owner/Agent Signature

**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies

Map printed on: 3/25/2021

0 333 667 Feet

Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

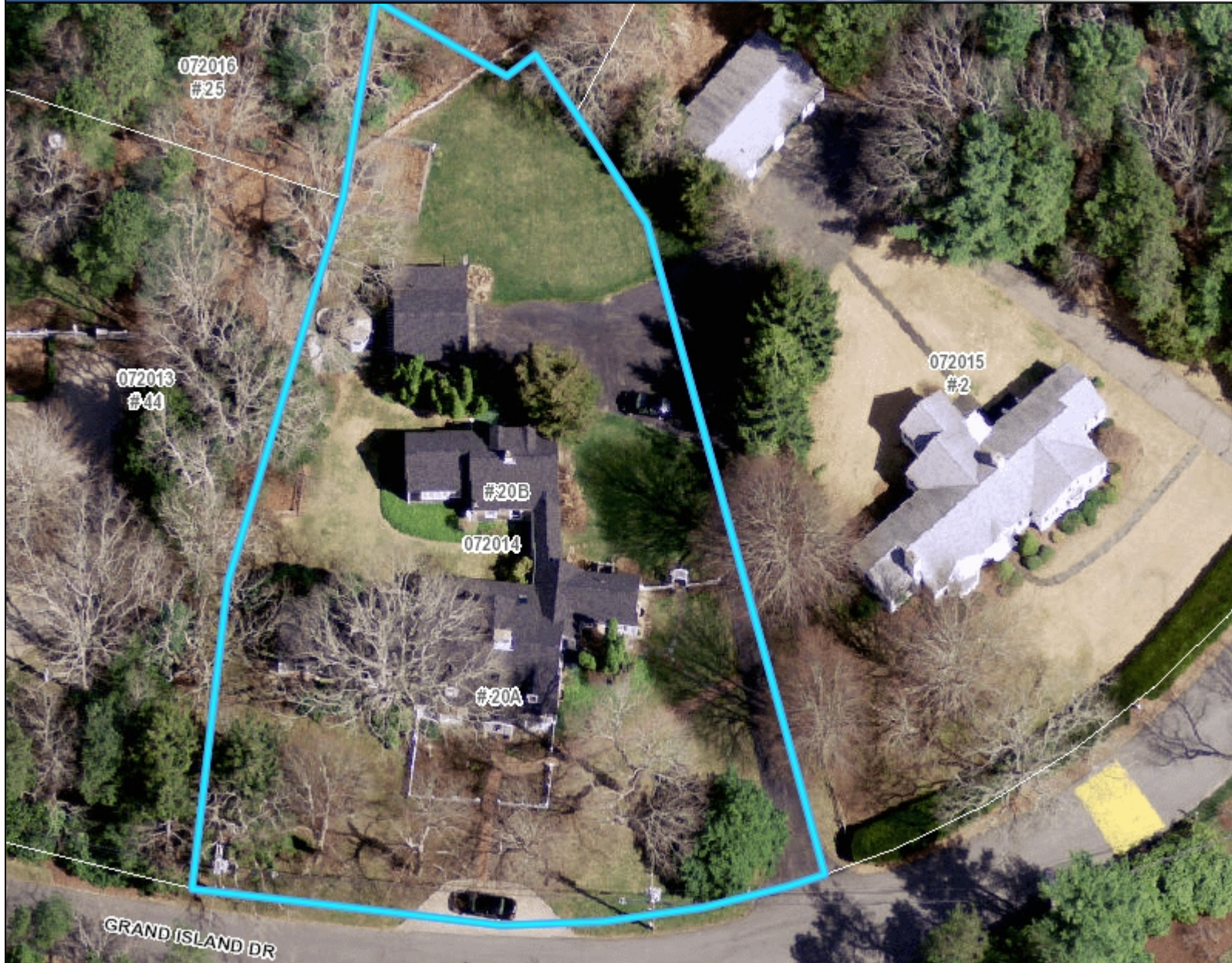
Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Map printed on: 3/25/2021

0 42 83 Feet

Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.




Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Parcel
072-014

Location
20 GRAND ISLAND DRIVE

Village
Osterville

Town sewer account
No

CWMP Sewer Expansion (subject to change with final engineering design)
None planned at this time


Developer lot:
LOTS 87, 88 & 89

Road type
Private

Fire district
C-O-MM

Secondary road

Road index
0646

Interactive map


Asbuilt septic scan
[072014_1](#)

Owner: DACEY, BRIAN T TR

Owner DACEY, BRIAN T TR	Co-Owner 20 GRAND ISLAND DRIVE REALTY TRUST	Book page C224516/0
Street1 PO BOX 95	Street2	
City CENTERVILLE	State MA	Zip 02632
	Country	

Land

Acres 0.74	Use Multi Hses M-01	Zoning RF-1	Neighborhood 0117
Topography Level	Street factor Paved	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities Public Water,Septic	Location factor	State Zone of Contribution OUT	

Construction

Building 1 of 2

Year built
1939

Living area
2811

Gross area
5360

Style
Cape Cod

Model
Residential

Grade
Average Plus

Stories
1.75

Roof structure
Gable/Hip

Roof cover
Asph/F GlS/Cmp

Exterior wall
Wood Shingle

Interior wall
Plastered

Interior floor
Hardwood, Pine/Soft Wood

Foundation

Heat type
Hot Water

Heat fuel
Oil

AC type
None

Bedrooms
6 Bedrooms

Bath rooms
4 Full-0 Half

Total rooms
10 Rooms



Building 2 of 2

Year built
1939

Living area
822

Gross area
1230

Style
Cape Cod

Model
Residential

Grade
Average

Stories
1.15

Roof structure
Gable/Hip

Roof cover
Asph/F GlS/Cmp

Exterior wall
Wood Shingle

Interior wall
Drywall, Wall Brd/Wood

Interior floor
Vinyl/Asphalt

Foundation

Heat type
Hot Water

Heat fuel
Oil

AC type
None

Bedrooms
2 Bedrooms

Bath rooms
1 Full-0 Half

Total rooms
4 Rooms



Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
------------	---------	---------------	--------	----------------	----------

Issue Date 10/02/2017	Purpose Insulation	Permit Number 17-3314	Amount \$4,700	InspectionDate	Comments Weatherization	
Sale History						
Line	Sale Date	Owner		Book/Page	Sale Price	
1	11/23/2020	DACEY, BRIAN T TR		C224516/0	\$1,370,000	
2	07/11/2018	DELOREY, BRIAN & DENISE		D1369122/0	\$0	
3	06/23/2010	DELOREY, WALTER & BRIAN & DENISE		C191757/0	\$945,000	
4	06/15/1991	SULLIVAN, ANNE M TR		C123745/0	\$1	
5	01/16/1981	FALVEY, ANNE M		C84313/0	\$0	
Assessment History						
Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2021	\$374,800	\$54,200	\$13,500	\$1,012,200	\$1,454,700
2	2020	\$337,100	\$47,100	\$12,600	\$1,012,200	\$1,409,000
3	2019	\$292,200	\$47,100	\$13,600	\$925,500	\$1,278,400
4	2018	\$242,700	\$47,100	\$14,100	\$974,200	\$1,278,100
5	2017	\$227,000	\$47,500	\$14,100	\$974,200	\$1,262,800
6	2016	\$223,600	\$46,900	\$4,300	\$948,000	\$1,222,800
7	2015	\$197,100	\$35,900	\$4,400	\$964,600	\$1,202,000
8	2014	\$197,100	\$35,900	\$4,600	\$964,600	\$1,202,200
9	2013	\$197,100	\$35,900	\$4,800	\$1,037,000	\$1,274,800
10	2012	\$193,800	\$34,000	\$4,500	\$699,400	\$931,700
11	2011	\$206,600	\$9,400	\$4,600	\$699,400	\$920,000
12	2010	\$314,600	\$12,300	\$5,300	\$1,205,800	\$1,538,000
13	2009	\$350,800	\$8,600	\$4,000	\$958,800	\$1,322,200
14	2008	\$360,400	\$8,600	\$4,000	\$999,300	\$1,372,300
16	2007	\$408,100	\$8,600	\$4,000	\$999,300	\$1,420,000
17	2006	\$402,100	\$8,600	\$4,200	\$985,200	\$1,400,100
18	2005	\$371,500	\$8,600	\$4,500	\$1,041,200	\$1,425,800
19	2004	\$288,100	\$8,600	\$4,600	\$1,041,200	\$1,342,500
20	2003	\$254,600	\$8,600	\$4,800	\$416,700	\$684,700
21	2002	\$254,600	\$8,600	\$4,800	\$416,700	\$684,700
22	2001	\$254,600	\$9,000	\$4,800	\$416,700	\$685,100
23	2000	\$223,500	\$7,000	\$4,900	\$331,800	\$567,200
24	1999	\$221,900	\$7,000	\$4,000	\$331,900	\$564,800
25	1998	\$221,900	\$7,000	\$4,000	\$331,900	\$564,800
26	1997	\$179,700	\$0	\$0	\$331,800	\$514,100
27	1996	\$179,700	\$0	\$0	\$331,800	\$514,100
28	1995	\$179,700	\$0	\$0	\$331,800	\$514,100
29	1994	\$172,900	\$0	\$0	\$353,600	\$529,400
30	1993	\$172,900	\$0	\$0	\$353,600	\$529,400
31	1992	\$196,800	\$0	\$0	\$392,900	\$593,000
32	1991	\$247,800	\$0	\$0	\$429,600	\$684,200
33	1990	\$247,800	\$0	\$0	\$429,600	\$684,200
34	1989	\$247,800	\$0	\$0	\$429,600	\$684,200
35	1988	\$262,000	\$0	\$0	\$240,400	\$508,900

Historical Commission Abutter List for Subject Parcel 072014

All property owners within 300 feet of the subject property's boundaries

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
071004001	OYSTER HARBORS CLUB INC		1 GRAND ISLAND RD		OYSTER HARBORS	MA	02655
071008	BILEZIKIAN, JEFFREY D & NANCY J		29 ADAMS AVENUE		WATERTOWN	MA	02472
071011001	CONDRON, DEVIN C & ERIN T		66 EDMUNDS ROAD		WELLESLEY	MA	02481
072013	CURREY, ROBERT M & PATRICIA F TRS	FAIRVIEW REALTY TRUST	113 HAWKSBILL WAY		JUPITER	FL	33458
072014	DACEY, BRIAN T TR	20 GRAND ISLAND DRIVE REALTY TRUST	PO BOX 95		CENTERVILLE	MA	02632
072015	CASEY, THOMAS C & MARTHA		17 SHEFFIELD W		WINCHESTER	MA	01890-3526
072016	B & B CRAIG LLC		219 ECHO DRIVE		JUPITER	FL	33458
072017	IGLEHEART, FAITH TR	43 OAKDALE PATH REALTY TRUST	1210 HARBOR COURT		HOLLYWOOD	FL	33019
072020001	HASEOTES, BYRON G JR, TRS	MARINO, MICHAEL S,TRS	48 OYSTER WAY IRREV TRUST	55 PINE ST, 5TH FLOOR	PROVIDENCE	RI	02903
072020002	DRURY, CHRISTOPHER & RORY		145 PARSONAGE ROAD		GREENWICH	CT	06830
072042	STEINKRAUSS, KURT R TR	115 SHORE DRIVE WEST REALTY TRUST	ONE FINANCIAL CENTER		BOSTON	MA	02111
072043	CTS FIDUCIARY LLC TR	C/O TURTLE ROCK LLC	231 WILLOW STREET		YARMOUTH PORT	MA	02675
072044	GENERAZIO, FRANK W JR & PATRICIA A		18526 SE VILLAGE CIR		TEQUESTA	FL	33469-1724

Salv #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
37	1986	\$262,000	\$0	\$0	\$240,400	\$508,900

Photos







































DIRECTIONS:

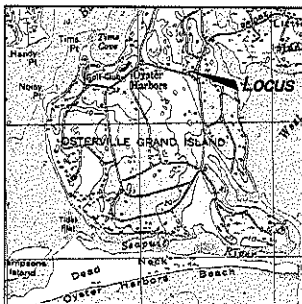
From Hyannis - Take Route 2B into Osterville; At the lights by White Hen Pantry take a left onto Osterville West Barnstable Road and follow to the end; Take a left onto Main Street; Take a right onto Parker Road; At the stop sign take a right onto West Bay Road; Bear left onto Bridge Street, and follow to the Gate House; Continue Straight and stay Left onto Oyster Way and Turn Right onto Grand Island Drive #20 is on the right.

ZONE:

RF-1
Area (min.) 87,120 SF (RPDD)
Frontage (min) 20'
Width (min) 125'
Setbacks:
Front 30'
Side 15'
Rear 15'

FLOOD ZONE:

Zone X (Min Flood Hazard)
Community Panel No.
#250001 C0756 J
July 16, 2014



LOCATION MAP:
Scale: 1" = 2000'

ASSESSORS REF.:

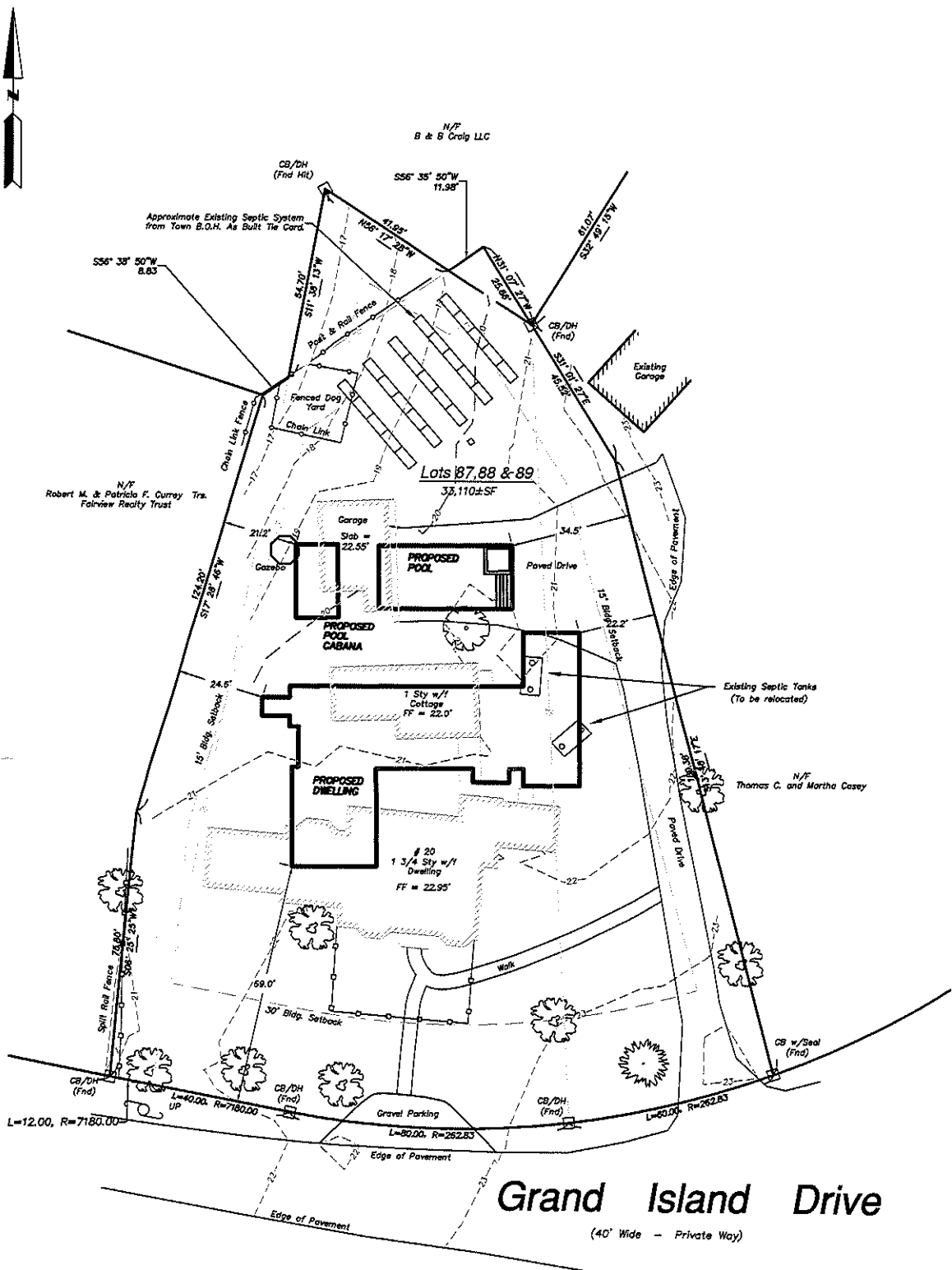
Map 072 Parcel 014

OVERLAY DISTRICT:

AP - Aquifer Protection District
Resource Protection Overlay District

REFERENCES:

Deed: C244516
Plans: LCP 15354-91
Plan Bk. 188 Pg. 45



LEGEND:

- CDT Cedar Tree
- HT Holly Tree
- DT Deciduous Tree
- CT Coniferous Tree
- Utility Pole
- Electric
- Gas
- Wetland Flag
- Light Post
- CB/DH
- OHW Overhead Wires
- Elevation Contour

DRAFT

TITLE:
Site Plan
Proposed Improvements
At
20 Grand Island Drive
Barnstable (Oyster Harbors) Mass.

PREPARED BY:
Sullivan Engineering & Consulting, Inc.
(508) 428-3344 • P.O. Box 659 • 711 Main Street, Osterville, MA 02655
suci@sullivanengn.com • www.sullivanengn.com

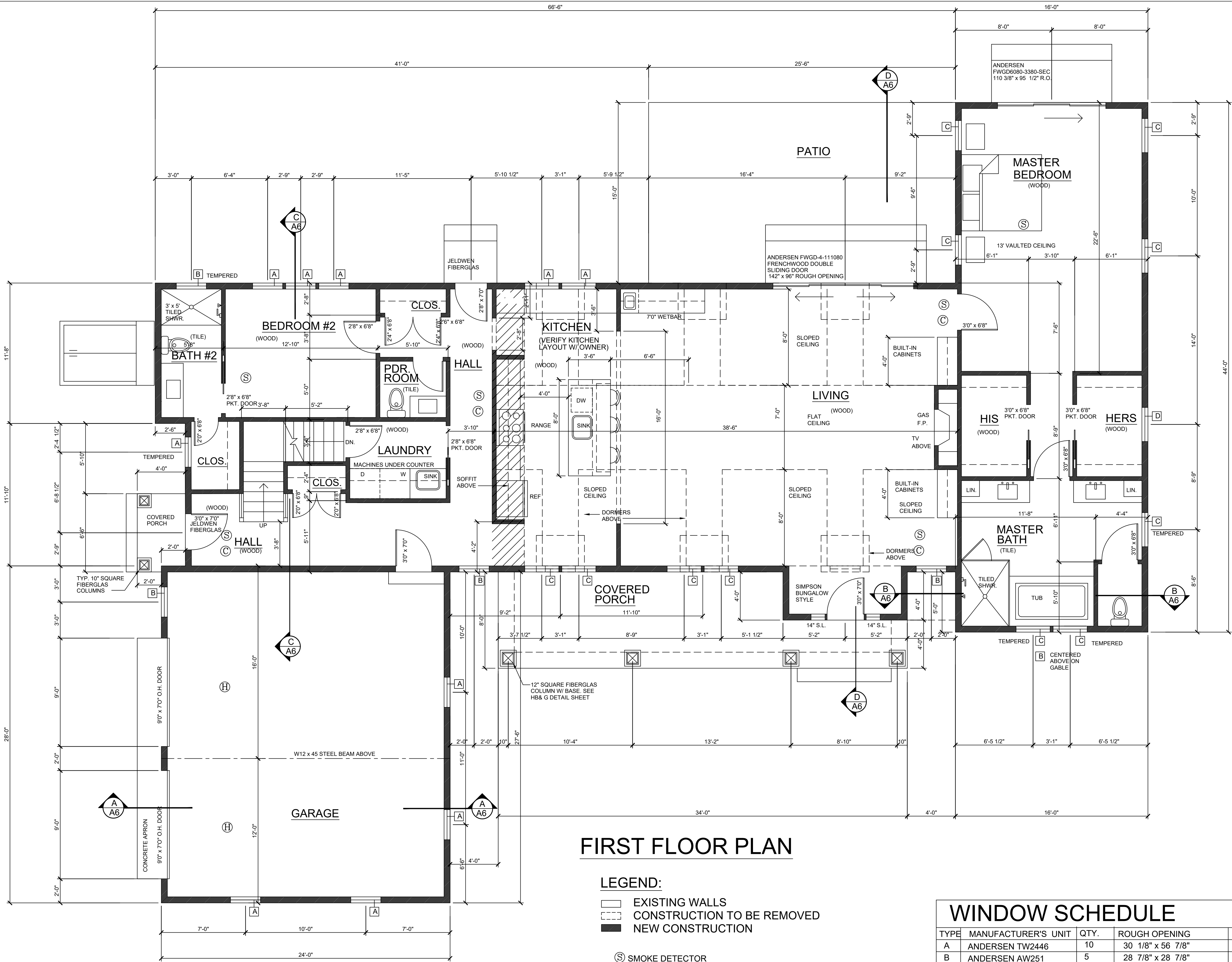
PREPARED FOR:
Bayside Building, Inc.

NOTES:
1) The property line information shown was compiled from available record information.
2) The topographic information was obtained from an on the ground survey performed on 3/17/2021 using GPS RTK.
3) The structures were located by an on the ground survey 3/18/2021.
4) The datum used is NAVD '88, a fixed mean sea level datum.

DATE: March 23, 2021 SCALE: 1" = 20'

Draft: ASL/CTR Field: WHK/CTR/JOD
Review: CTR/JOD Comp./Review: CTR/JOD/ASL
Project: Dacey Project#: 1998101





FIRST FLOOR PLAN

- LEGEND:
- EXISTING WALLS
 - CONSTRUCTION TO BE REMOVED
 - NEW CONSTRUCTION
- Ⓢ SMOKE DETECTOR
Ⓒ CARBON MONOXIDE DETECTOR
Ⓜ HEAT DETECTOR

AREA CALCULATIONS

FIRST FLOOR 2201 S.F.
SECOND FLOOR 1017 S.F.
GARAGE 661 S.F.
COVERED PORCH 277 S.F.

WINDOW SCHEDULE				
TYPE	MANUFACTURER'S	UNIT	QTY.	ROUGH OPENING
A	ANDERSEN	TW2446	10	30 1/8" x 56 7/8"
B	ANDERSEN	AW251	5	28 7/8" x 28 7/8"
C	ANDERSEN	TW2852	11	34 1/8" x 64 7/8"
D	ANDERSEN	TWT2823	1	34 1/8" x 29 7/8"
E	ANDERSEN	TW2442	7	30 1/8" x 52 7/8"
F	ANDERSEN	TW24310	6	30 1/8" x 48 7/8"
G	ANDERSEN	CW13	8	28 7/8" x 36 1/2"
				REMARKS
				DOUBLEHUNG
				AWNING
				D.H. COTTAGE
				DOUBLEHUNG TRANSOM
				DOUBLEHUNG
				DOUBLEHUNG
				CASEMENT (FRACTIONAL GRILLE)

IECC2018 RESIDENTIAL ENERGY EFFICIENCY DETAILS
CLIMATE ZONE 5 (USE EITHER PRESCRIPTIVE VALUES OR RESCHECK CALCULATION)
TABLE 402.1.2 (MINIMUM PRESCRIPTIVE INSULATION & FENESTRATION REQUIREMENTS)
FENESTRATION SKYLIGHT CEILING WOOD FRAMED WALL FLOOR BASEMENT WALL BASEMENT SLAB CRAWL SPACE WALL
U-FACTOR R-VALUE U-FACTOR R-VALUE U-FACTOR R-VALUE U-FACTOR R-VALUE U-FACTOR R-VALUE U-FACTOR R-VALUE
0.30 MASS. 0.55 49 20 or 13 + 5 30 15/19 10 (4 FT. DEEP) 15/19
NOTES:
1. R-VALUES ARE MINIMUMS & U-FACTORS ARE MAXIMUMS.
2. 15/19 MEANS R=15 CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME OR R=19 INSULATION CAVITY AT THE INTERIOR OF THE BASEMENT WALL
3. REFER TO IECC 2018 CHAPTER 4 FOR ALL INSULATION & ENERGY REQUIREMENTS
4. 13 + 5 MEANS R5 CONTINUOUS INSULATED SHEATHING ON THE WALL EXTERIOR & R13 CAVITY INSULATION

COTUIT BAY DESIGN, LLC
43 BREWSTER ROAD
MASHPEE, MA 02649
PH. (508) 274-1166

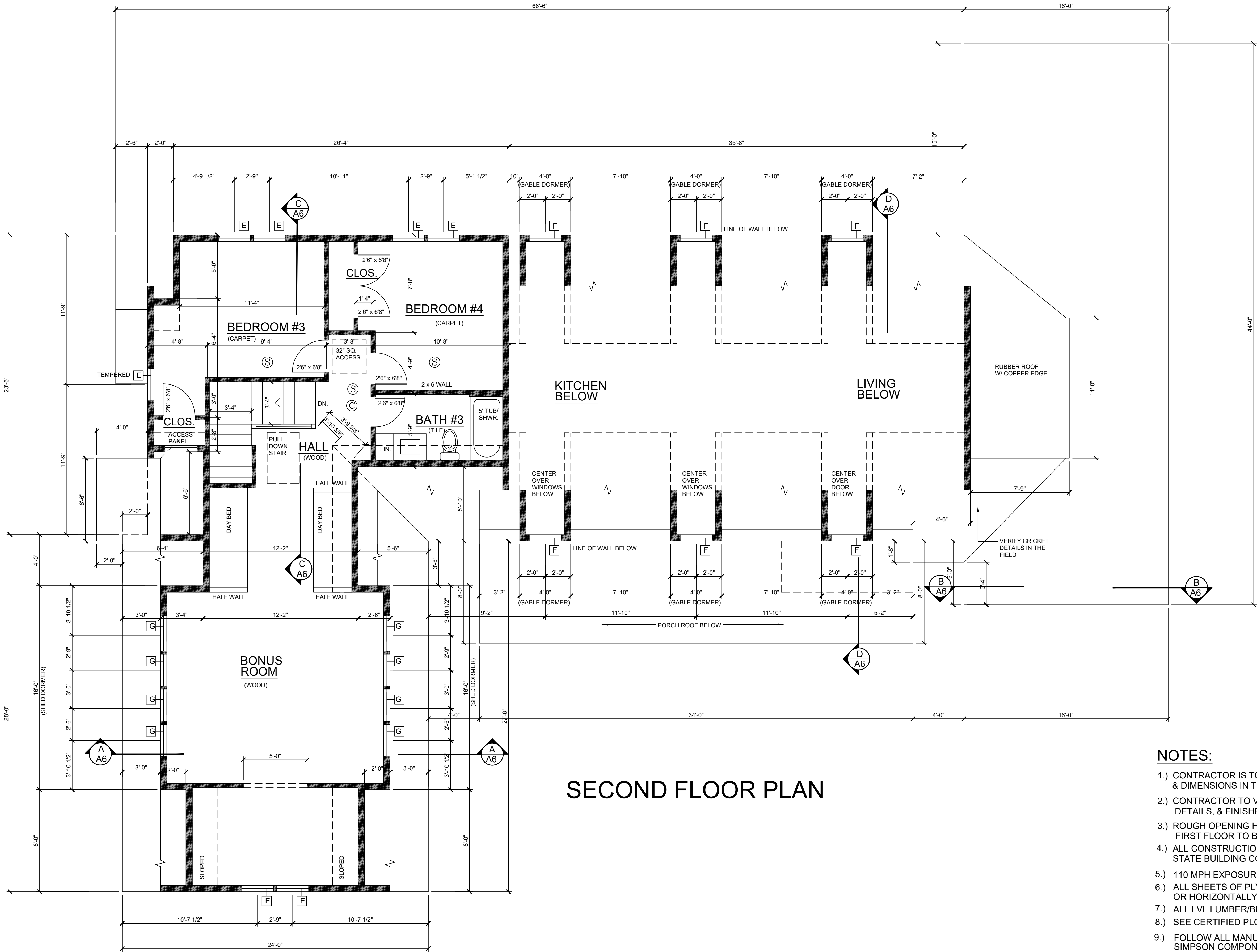
NEW HOUSE FOR:
CARROLL RESIDENCE
149 PINELEIGH PATH OSTERVILLE, MA

THE DESIGNER SHALL BE NOTIFIED IF ANY ERRORS OR OMISSIONS ARE FOUND ON THESE DRAWINGS PRIOR TO START OF CONSTRUCTION. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR NOTIFYING THE OWNER OF ANY VIOLATIONS OF THE BUILDING CODE. THESE DRAWINGS ARE SOLELY FOR THE USE OF THE OWNER AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE. ANY OTHER USE OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS A VIOLATION OF ARCHITECTURAL COPYRIGHT PROTECTION ACT OF 1990.

SCALE :
1/4" = 1'-0"

DATE :
10/26/2020

DRAWING NO. :
A1



SECOND FLOOR PLAN

NOTES:

- 1.) CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS & DIMENSIONS IN THE FIELD
- 2.) CONTRACTOR TO VERIFY ALL INTERIOR & EXTERIOR MATERIALS, DETAILS, & FINISHES IN THE FIELD WITH OWNER
- 3.) ROUGH OPENING HEAD HEIGHT OF WINDOWS AT FIRST FLOOR FIRST FLOOR TO BE 7'0" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED
- 4.) ALL CONSTRUCTION TO CONFORM TO 780 CMR MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION AMENDEMENT & IRC2015
- 5.) 110 MPH EXPOSURE B WIND ZONE
- 6.) ALL SHEETS OF PLYWOOD WALL SHEATHING TO BE INSTALLED VERTICALLY, OR HORIZONTALLY W/ BLOCKING AT EDGES, 3"EDGE/12" FIELD NAILING
- 7.) ALL LVL LUMBER/BEAMS TO BE 1.9e L/360 LOAD
- 8.) SEE CERTIFIED PLOT PLAN FOR ALL PROPOSED & EXISTING DETAILS
- 9.) FOLLOW ALL MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF ALL SIMPSON COMPONENTS
- 10.) ALL CONCRETE USED FOR FOUNDATION WALLS, FOOTINGS & SLABS TO BE 3000 PSI AT 28 DAYS
- 11.) VERIFY ALL PLUMBING & ELECTRICAL DETAILS W/ OWNERS ON THE SITE DURING FRAMING CONSTRUCTION
- 12.) TIMBER FRAMING TO BE SPRUCE/PINE/FIR NO. 2 GRADE, 900 PSI MIN.
- 13.) PROVIDE UTILITY INSTALLATIONS FROM STREET TO NEW HOUSE VIA UNDERGROUND CONNECTIONS TO COMPLY W/ ALL LOCAL CODES
- 14.) FOLLOW ALL REQUIREMENTS OF THE IECC2018 RESIDENTIAL ENERGY EFFICIENCY REQUIREMENTS & VERIFY ALL DETAILS WITH THE INSULATION INSTALLER/CONTRACTOR FOR THE STRETCH ENERGY CODE
- 15.) ALL WINDOW AND DOOR HEADERS 4'0" OR LESS TO BE 3- 2 x 8 W/ 2K,2J
- 16.) INSTALL ALL ROOF TO WALL, CHIMNEY, & OTHER FLASHING PER MANUFACTURER'S INSTRUCTIONS
- 17.) FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION OF ALL WINDOWS AND DOORS

COTUIT BAY DESIGN, LLC
43 BREWSTER ROAD
MASHPEE, MA 02649
PH. (508) 274-1166

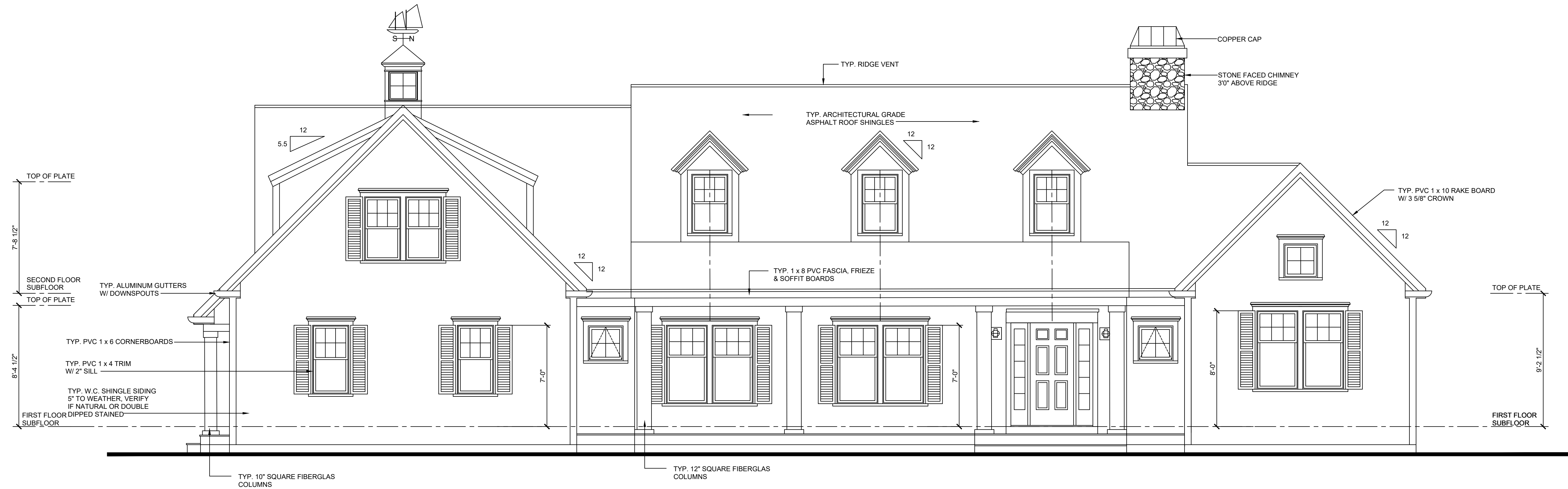
NEW HOUSE FOR:
CARROLL RESIDENCE
149 PINELEIGH PATH OSTERVILLE, MA

THE DESIGNER SHALL BE NOTIFIED IF ANY ERRORS OR OMISSIONS ARE FOUND IN ANY OF THESE DRAWINGS PRIOR TO START OF CONSTRUCTION. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THESE DRAWINGS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS AFTER THE BUILDING CONTRACTOR HAS COMMENCED CONSTRUCTION. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS AFTER THE BUILDING CONTRACTOR HAS COMMENCED CONSTRUCTION. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS AFTER THE BUILDING CONTRACTOR HAS COMMENCED CONSTRUCTION.

SCALE :
1/4" = 1'-0"

DATE :
10/26/2020

DRAWING NO. :
A2

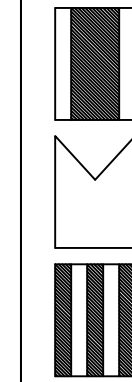


FRONT ELEVATION



LEFT ELEVATION

COTUIT BAY DESIGN, LLC
43 BREWSTER ROAD
MASHPEE, MA 02649
PH. (508) 274-1166



NEW HOUSE FOR:
CARROLL RESIDENCE
149 PINELEIGH PATH OSTERVILLE, MA

THE DESIGNER SHALL BE NOTIFIED IF ANY
CHANGES ARE MADE TO THE DRAWINGS
OR SPECIFICATIONS PRIOR TO START OF
CONSTRUCTION. THE BUILDING CONTRACTOR
SHALL BE RESPONSIBLE FOR OBTAINING
ALL NECESSARY PERMITS AND INSURANCE
IN THESE DRAWINGS IF CONSTRUCTION
COMMENCES WITHOUT NOTIFYING THE
DESIGNER. THE DESIGNER'S LIABILITY
FOR THESE DRAWINGS IS LIMITED TO THE
USE OF THE DRAWINGS FOR THE USE OF
THESE DRAWINGS REQUIRES THE WRITTEN
CONSENT OF THE DESIGNER. COPYRIGHT
ACT OF 1990.

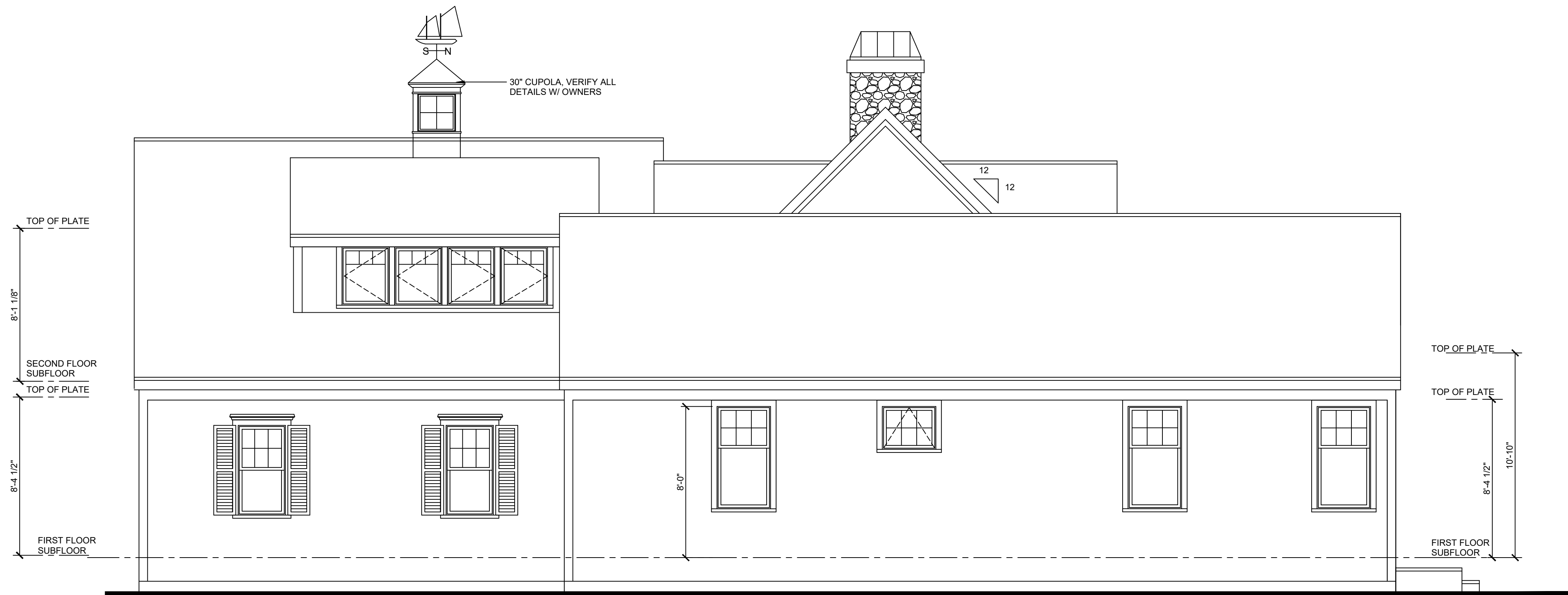
SCALE :
1/4" = 1'-0"

DATE :
10/26/2020

DRAWING NO. :
A3



REAR ELEVATION



RIGHT ELEVATION

COTUIT BAY DESIGN, LLC
43 BREWSTER ROAD
MASHPEE, MA 02649
PH. (508) 274-1166



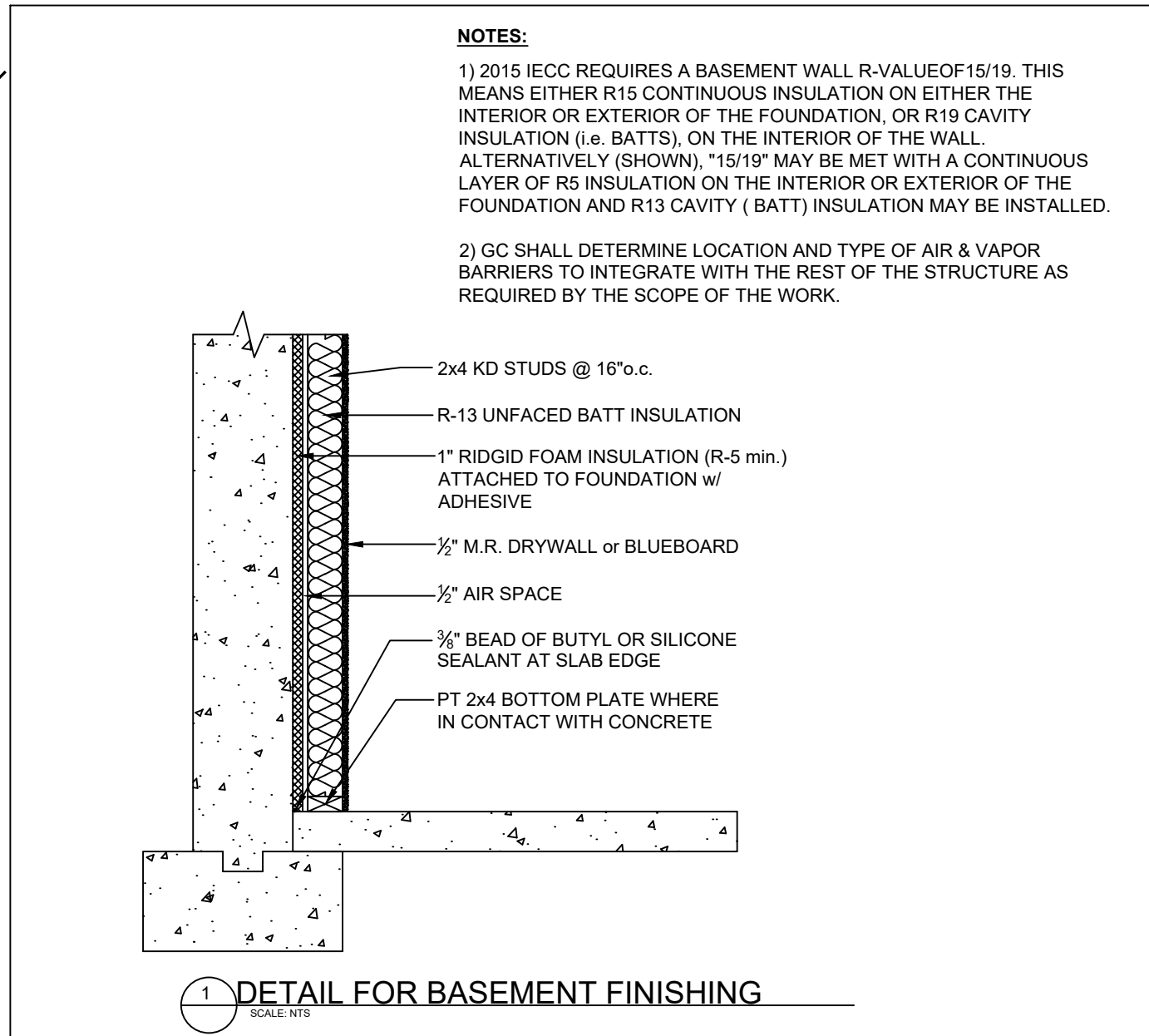
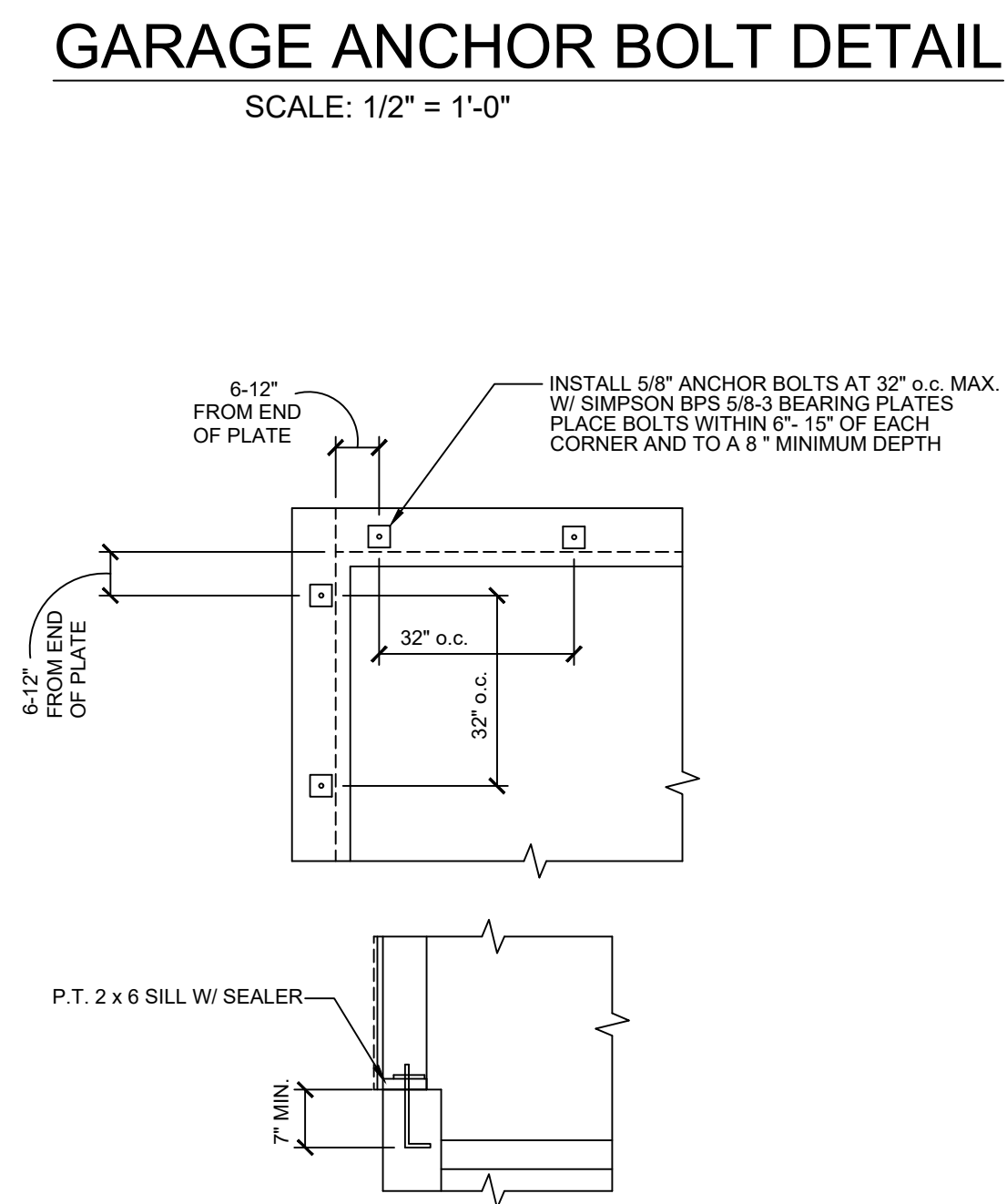
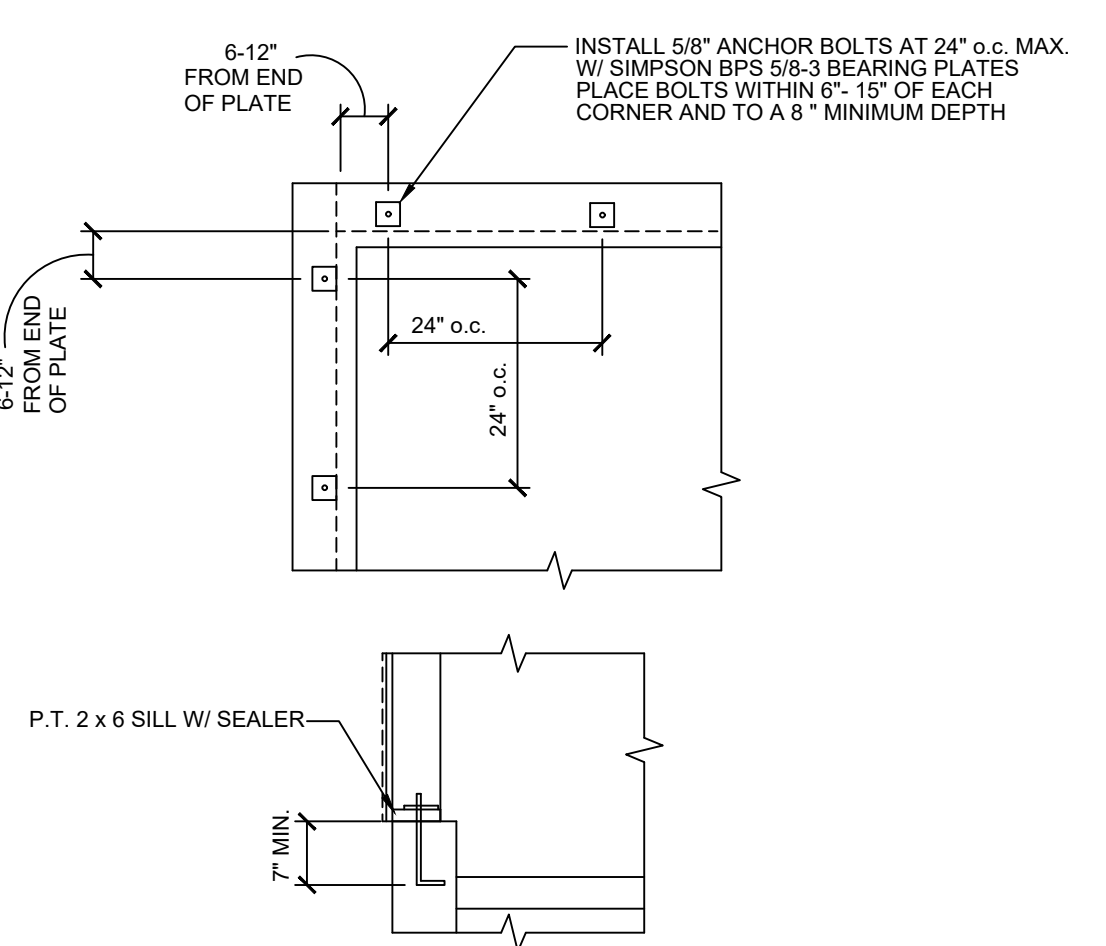
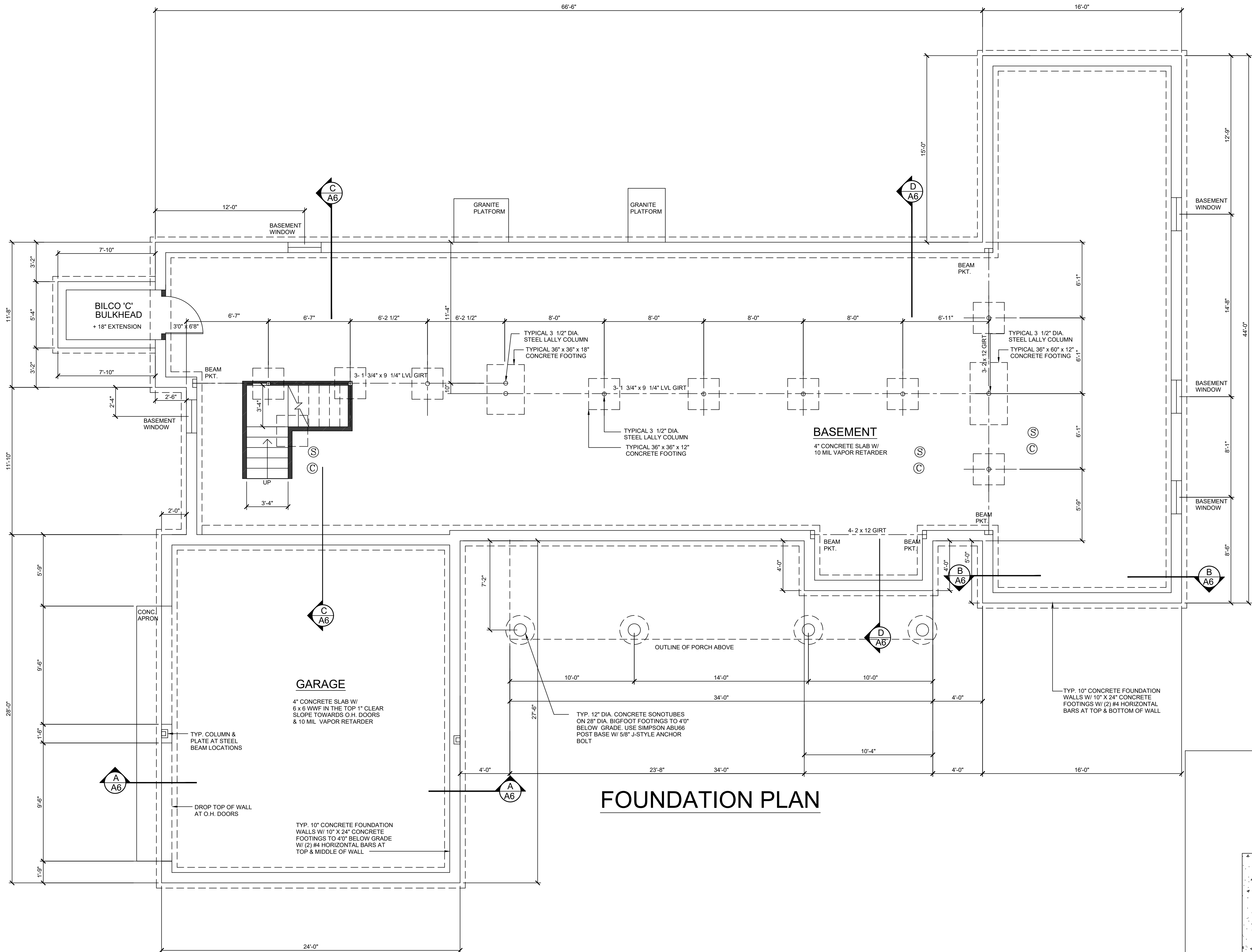
NEW HOUSE FOR:
CARROLL RESIDENCE
149 PINELEIGH PATH OSTERVILLE, MA

THE DESIGNER SHALL BE NOTIFIED IF ANY
CONSTRUCTION OF THE BUILDING CONTRACTOR
OR ARCHITECT SHALL BE REQUIRED TO
MODIFY OR AMEND THE DRAWINGS
IN THESE DRAWINGS IF CONSTRUCTION
COMMENCES WITHOUT NOTIFYING THE
DESIGNER. THE DESIGNER'S RESPONSIBILITY
OF THESE DRAWINGS ARE SOLELY FOR THE USE
OF THE OWNER. THESE DRAWINGS REQUIRE THE WRITTEN
ARCHITECTURAL COPYRIGHT PROTECTION
ACT OF 1990.

SCALE :
1/4" = 1'-0"

DATE :
10/26/2020

DRAWING NO. :
A4





TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

Town Clerk Stamp

29 MAR '21 PM 1:41
BARNSTABLE TOWN CLERK

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 7/19/21 ☒ Full Demotion ☐ Partial Demolition

Building Address: 76 Long Beach Rd
Number Street

Centerville 02632 Assessor's Map # 206 Assessor's Parcel # 9
Village ZIP

Property Owner: Daniel & Kathryn Croteau 508-771-1040
Name Phone#

Property Owner Mailing Address (if different than building address) 22 Jarvis Avenue
Hingham MA 02043

Property Owner e-mail address: dancroteau1224@gmail.com

Contractor/Agent: Boyside Building

Contractor/Agent Mailing Address: PO Box 915, Centerville

Contractor/Agent Contact Name and Phone #: Nick Bowes 774-487-0475
Name Phone #

Contractor/Agent Contact e-mail address: nick@boysidebuilding.com

Demolition Proposed - please itemize all changes:

Demolition of existing structure in its entirety

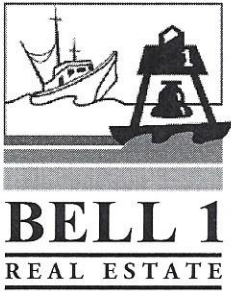
Type of New Construction Proposed: Gambrel style cape house w/ 3 beds
and garage under per plans

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1920 Additions Year Built: _____

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No ☒ Yes ☐

Property Owner/Agent Signature



7/12/21

Jimmy Bowes

Bayside Builders

Centerville MA.

Re: 76 Long Beach Rd.

Centerville

Dear Jimmy,

I would like to confirm with you that I have listed the home at 76 Long Beach Rd. in Centerville since early June for sale for \$1.00 if anyone is willing to move the house off of the site. To date we have had no offers to purchase and move this property. I have contacted the the following local companies to explore the potential to move the home and they have declined the project due to either the complexity of the external wiring, the age and/or the construction of the home.

1. Robert Hayden Building Moving Company
2. Gary Sylvestor Bulding Moving Company

Based on my discussions with these companies I do not believe that this home can be moved. Please do not hesitate to contact me with any questions.

Kind Regards,

David J. Hendrick

Principal Broker/ Owner



5 Main Street
Cotuit, Massachusetts
02635

508-428-2655

www.bell-one.com

email:

DavidHendrick41@gmail.com

Line	Sale Date	Owner	Book/Page	Sale Price
1	12/14/2018	CROTEAU, DANIEL C & KATHRYN F	C218155/0	\$1,800,000
2	02/01/2007	HUNTER, DURANT A & SARA H	C182273/0	\$1,545,000
3	05/20/2003	FITZGERALD, MICHAEL T & BETSEY B	C169227/0	\$1,445,000
4	05/21/1998	MINCHELLO, JAMES B & LINDA J	C148621/0	\$440,000
5	04/13/1987	CICCOLO, JOHN H JR & LEXINE	C110457/0	\$480,000
6	08/15/1986	SHIELDS, ROBERT M JR	C107656/0	\$400,000
7	12/23/1985	DORAN, RICHARD F & SULLIVAN, JOHN F	C104689/0	\$220,000
8	11/03/1961	JONES-HENRY, ARTHUR E	C27724/0	\$0

Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2021	\$346,200	\$73,900	\$31,500	\$879,700	\$1,331,300
2	2020	\$341,100	\$67,300	\$30,900	\$879,700	\$1,319,000
3	2019	\$183,500	\$59,000	\$33,600	\$804,300	\$1,080,400
4	2018	\$139,300	\$54,800	\$35,000	\$846,700	\$1,075,800
5	2017	\$130,300	\$55,000	\$36,400	\$846,700	\$1,068,400
6	2016	\$130,300	\$55,000	\$36,400	\$852,000	\$1,073,700
7	2015	\$156,300	\$61,600	\$62,400	\$819,400	\$1,099,700
8	2014	\$156,300	\$63,000	\$125,500	\$819,400	\$1,164,200
9	2013	\$156,300	\$63,000	\$129,800	\$880,900	\$1,230,000
10	2012	\$177,900	\$61,000	\$137,300	\$819,400	\$1,195,600
11	2011	\$197,800	\$22,500	\$141,100	\$819,400	\$1,180,800
12	2010	\$197,900	\$22,500	\$145,200	\$819,400	\$1,185,000
13	2009	\$198,700	\$18,300	\$340,000	\$868,500	\$1,425,500
14	2008	\$209,300	\$18,300	\$340,000	\$687,600	\$1,255,200
16	2007	\$239,400	\$18,300	\$340,000	\$687,600	\$1,285,300
17	2006	\$231,300	\$18,300	\$475,000	\$613,900	\$1,338,500
18	2005	\$200,300	\$17,200	\$475,000	\$610,700	\$1,303,200
19	2004	\$136,400	\$9,600	\$93,000	\$519,800	\$758,800
20	2003	\$125,900	\$9,600	\$6,200	\$408,100	\$549,800
21	2002	\$125,900	\$9,600	\$6,200	\$408,100	\$549,800
22	2001	\$106,500	\$8,500	\$1,200	\$408,100	\$524,300
23	2000	\$145,900	\$10,300	\$1,200	\$141,600	\$299,000
24	1999	\$145,900	\$10,300	\$1,200	\$141,600	\$299,000
25	1998	\$145,900	\$10,300	\$1,200	\$141,600	\$299,000
26	1997	\$153,300	\$0	\$0	\$141,600	\$296,300
27	1996	\$153,300	\$0	\$0	\$141,600	\$296,300
28	1995	\$153,300	\$0	\$0	\$141,600	\$296,300
29	1994	\$148,300	\$0	\$0	\$127,400	\$276,500
30	1993	\$148,300	\$0	\$0	\$127,400	\$276,500
31	1992	\$168,100	\$0	\$0	\$141,600	\$310,600
32	1991	\$145,600	\$0	\$0	\$314,600	\$461,100
33	1990	\$145,600	\$0	\$0	\$314,600	\$461,100
34	1989	\$145,600	\$0	\$0	\$314,600	\$461,100
35	1988	\$90,100	\$0	\$0	\$156,000	\$246,100

Save #	Year	Building	XF Value	OB Value	LS Value	Total Paid
36	1987	\$90,100	\$0	\$0	\$156,000	\$246,100
37	1986	\$90,100	\$0	\$0	\$156,000	\$246,100

Photos







**Legend**

- Parcels
- Town Boundary
- Railroad Tracks
- Buildings**
 - Approx. Building
 - Buildings
- Painted Lines**
 - Paved
 - Unpaved
- Parking Lots**
 - Paved
 - Unpaved
- Driveways**
 - Paved
 - Unpaved
- Roads**
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 3/26/2021

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Map printed on: 3/26/2021

0 21 42 Feet

Approx. Scale: 1 inch = 21 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

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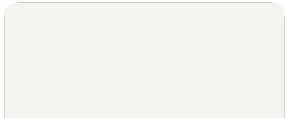


Image capture: Oct 2019 © 2021 Google

Barnstable, Massachusetts



Street View



Historical Commission Abutter List for Subject Parcel 206009

All property owners within 300 feet of the subject property's boundaries

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
205016	MURPHY, JOAN E TR	MURPHY FAMILY REALTY TRUST	93 LONG BEACH ROAD		CENTERVILLE	MA	02632
205017	GAUTRAU, DOMINICK M & JUDITH F TRS	GAUTRAU - LONG BEACH REALTY TRST	103 LONG BCH RD		CENTERVILLE	MA	02632
205018	WALLACE, DAVID A & PATRICIA		325 E KEY PALM ROAD		BOCA RATON	FL	33432
206004	WALLACE, DAVID A & PATRICIA		325 E KEY PALM ROAD		BOCA RATON	FL	33432
206005	GAUTRAU, DOMINICK M & JUDITH F TRS	GAUTRAU - BEACH REALTY TRUST	LONG BEACH ROAD		CENTERVILLE	MA	02632
206006	MONAHAN, SHARON O & CUSHING, CAROL ANNE		6 PICKWICK ROAD		MARBLEHEAD	MA	01945
206007	HUGHES, HELEN M		392 WOODLAND STREET	PO BOX 49	SOUTH GLASTONBURY	CT	06073
206008	DRISCOLL, JOAN M		75 LONG BEACH RD		CENTERVILLE	MA	02632
206009	CROTEAU, DANIEL C & KATHRYN F		22 JARVIS AVENUE		HINGHAM	MA	02043
206010	RONCONE, JOHN TR	62 LONG BEACH ROAD TRUST	142 MAIN STREET		LEOMINSTER	MA	01453
206011	DURANTE ENTERPRISES INC		440 SALISBURY STREET		HOLDEN	MA	01520
206012	BEACH CLUB OF CRAIGVILLE INC		P O BOX 297		CENTERVILLE	MA	02632
206016	BEACH CLUB OF CRAIGVILLE INC		P O BOX 297		CENTERVILLE	MA	02632
206017	WALKER, WALTER H III & ANNE M		604 SEMINARY DR		MILL VALLEY	CA	94941

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
206018	SPAGNUOLO, RICHARD F X ET UX	RICHARD FX SPAGNUOLO TRUSTS	230 POND STREET		JAMAICA PLAIN	MA	02130-2429
206019	GOULD, ROBERT & SHELLY		111 FORSYTHE ST SUITE 507	OAKVILLE ON L6K 3T3	CANADA	.	.
206020	DRISCOLL, JOHN H & JOAN M	C/O DRISCOLL, JOAN M	75 LONG BEACH RD		CENTERVILLE	MA	02632
206022	PREFONTAINE, MICHAEL P & NICOLE		8 STAGECOACH WAY		HOPKINTON	MA	01748
206027	SULLIVAN, JOSEPH W TR	SULLIVAN REALTY TRUST	PO BOX 385		WEST HYANNISPORT	MA	02672
206028	PENDERGAST, ANN D TR	ANN D PENDERGAST 2000 REVOCABLE TRUST	PO BOX 576		CENTERVILLE	MA	02632
206029	WICKERS, JANE M		17 SCHOOL ST		BYFIELD	MA	01922
206030	NOELLE, RANDOLPH J & BARBARA G		301 FREEMAN ROAD		PLAINFIELD	NH	03781
206033	TELLIER, EDWARD A & DOMOS, CANDACE TRS	EA TELLIER REALTY TRUST I	93 BIRCH HILL ROAD		BELMONT	MA	02178
206034	BERGERON, JAY & CROWLEY, JOANNE L		337 GREAT PLAIN AVE		NEEDHAM	MA	02192
206105	PINHO, JAMES F & KERRI J		198 LANCASTER RD		NORTH ANDOVER	MA	01845
206106	WOELFEL, JANE F & STEPHEN E TRS	THE JANE F & STEPHEN E WOELFEL REV TRUST	140 SHORT BEACH ROAD		CENTERVILLE	MA	02632



















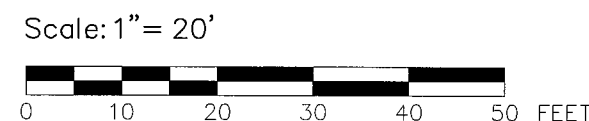
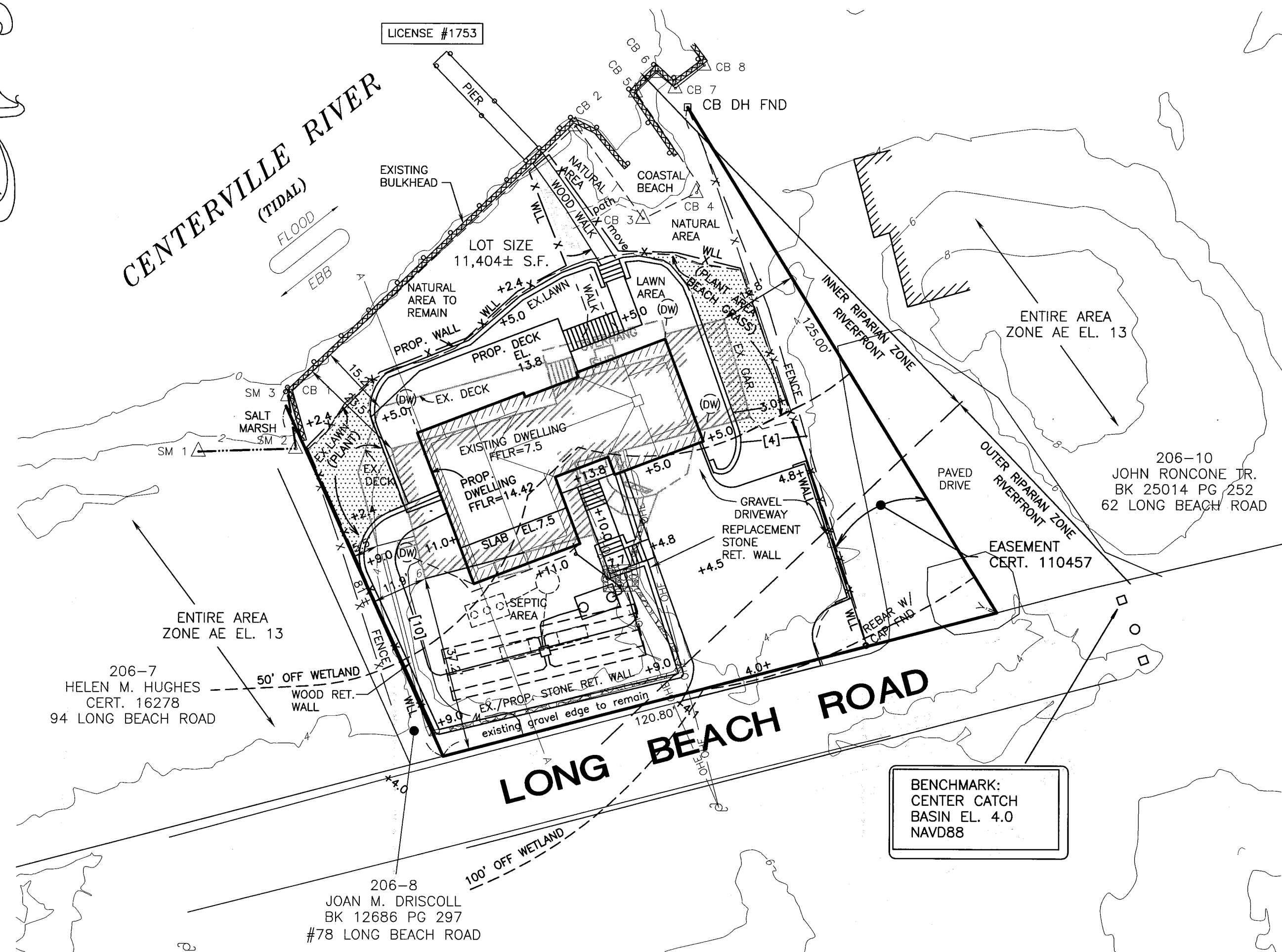












HARDSCAPE CALCULATIONS:

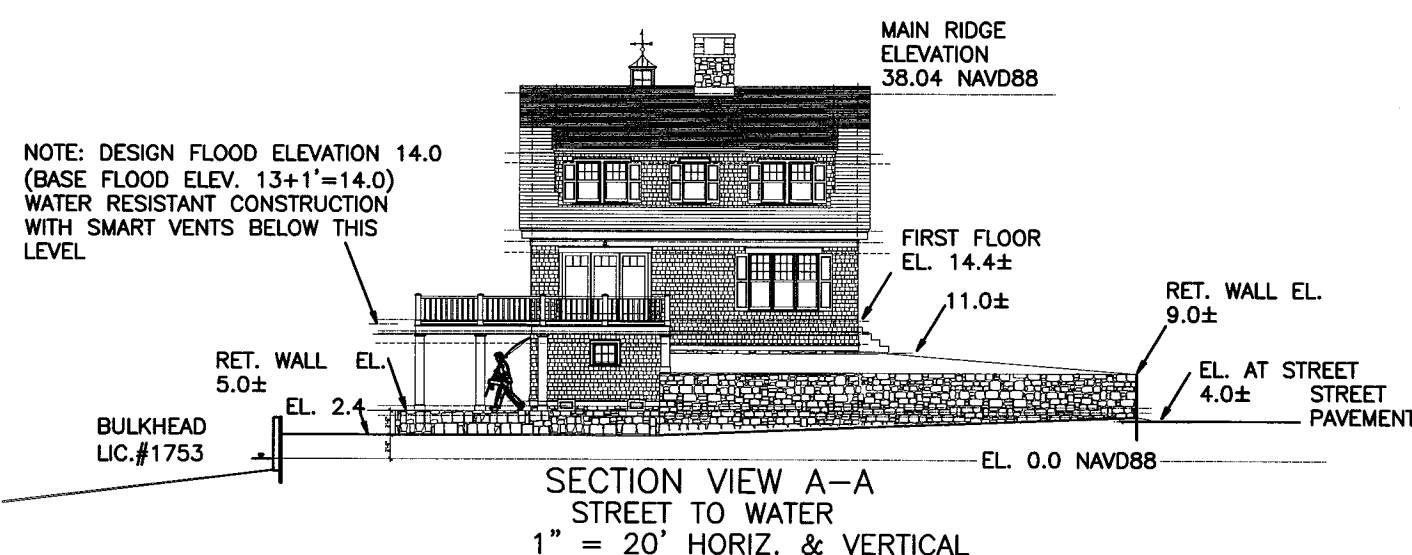
EXISTING 0-50' BUFFER- 2293 SF
PROPOSED 0-50' BUFFER- 2183 SF
110 SF REDUCTION O.K.

EXISTING 50'-100' BUFFER-2468
PROPOSED 50'-100' BUFFER- 2298 SF
170 SF REDUCTION O.K.

NOTE: NO MITIGATION REQUIRED PER BYLAW,
APPROX. 776 SF BEACH GRASS PLANTINGS
IN FORMER LAWN/GARAGE/DECK AREA PROPOSED

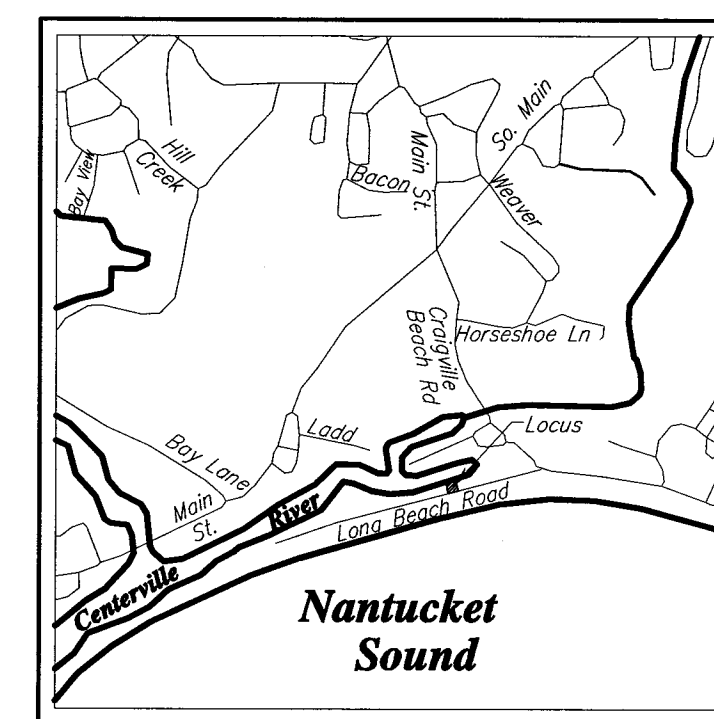
LEGEND

- 99 EXISTING CONTOUR
 - [99] PROPOSED CONTOUR
 - [98.4] PROPOSED SPOT EL.
 - TH1 TEST HOLE
 - CATCH BASIN
 - UTILITY POLE
 - FIRE HYDRANT
 - (DW) ROOF DRYWELL
 - W WATER LINE
 - X-X FENCE
 - X-X WLL (WORK LIMIT LINE)
 - SILT FENCE/COIR LOG
- NOTE: NOT ALL SYMBOLS MAY APPEAR IN DRAWING



NOTES

1. DATUM IS NAVD 88
2. MUNICIPAL WATER IS EXISTING
3. THIS PLAN IS FOR PROPOSED WORK ONLY AND NOT TO BE USED FOR LOT LINE STAKING OR ANY OTHER PURPOSE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING DIGSAFE (1-888-344-7233) AND VERIFYING THE LOCATION OF ALL UNDERGROUND & OVERHEAD UTILITIES PRIOR TO COMMENCEMENT OF WORK.
5. EXISTING SEPTIC LOCATION PER TIE-CARD ON FILE WITH THE TOWN.
6. SALT MARSH AND COASTAL BEACH AREAS DELINEATED BY BRAD HALL, BLH ENVIRONMENTAL CONSULTANTS.
7. ENTIRE LOT IS LAND SUBJECT TO COASTAL STORM FLOWAGE.
8. ENTIRE LOT WITHIN THE RIVERFRONT AREA.
9. LAWN TO BE LIMITED TO AREAS ON TOP OF NEW AND REBUILT RETAINING WALLS, ALL AREAS BELOW LANDSCAPE WALLS TO HAVE NATIVE PLANTINGS UP TO 50' BUFFER LINE EXCEPT FOR WALKWAYS AS INDICATED. (APPROX. 880 SF)
10. NATIVE SHRUBS TO BE INSTALLED AT EDGE OF RETAINING WALL TO PREVENT FOOT TRAFFIC FROM WITHIN 2' OF WALLS OVER 30" REVEAL.
11. GUTTERS AND DOWNSPOUTS TO ROOF DRYWELLS REQUIRED FOR ALL ROOF RUNOFF. PVIOUS GRAVEL/SHELL DRIVEWAY PROPOSED.



LOCUS MAP

SCALE 1"=2000'±

ASSESSORS MAP 206 PARCEL 9

LOCUS IS WITHIN FEMA FLOOD ZONE AE (EL. 13)
AS SHOWN ON COMMUNITY PANEL #25001C0563J
DATED 7/16/2014

OWNER OF RECORD

DANIEL C & KATHRYN F CROTEAU
22 JARVIS AVENUE
HINGHAM, MA 02043

REFERENCES

CERT. 218155
LCP 29224-A

ZONING DISTRICT: CRAIGVILLE BEACH DISTRICT LONG BEACH/SHORT
BEACH NEIGHBORHOOD OVERLAY DISTRICT (CBD LBSB)

SITE PLAN

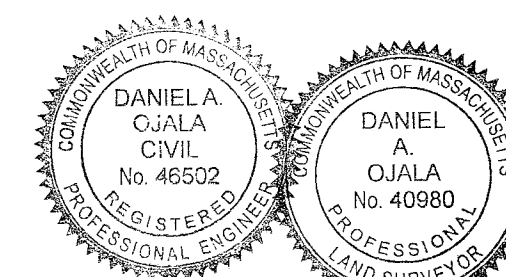
OF

76 LONG BEACH ROAD
CENTERVILLE, MA

PREPARED FOR

DANIEL & KATHRYN CROTEAU

DATE: 1-31-2021
REVISED: 2-4-2021 (WALL, WLL, DRYWELLS)



DATE 2-4-2021
DANIEL A. OJALA, P.E., P.L.S.

down cape engineering, inc.
civil engineers
land surveyors
939 Main Street (Rte 6A)
YARMOUTHPORT MA 02675
18-469 CROTEAU.DWG

a2.0

FRONT

EXTERIOR ELEVATION



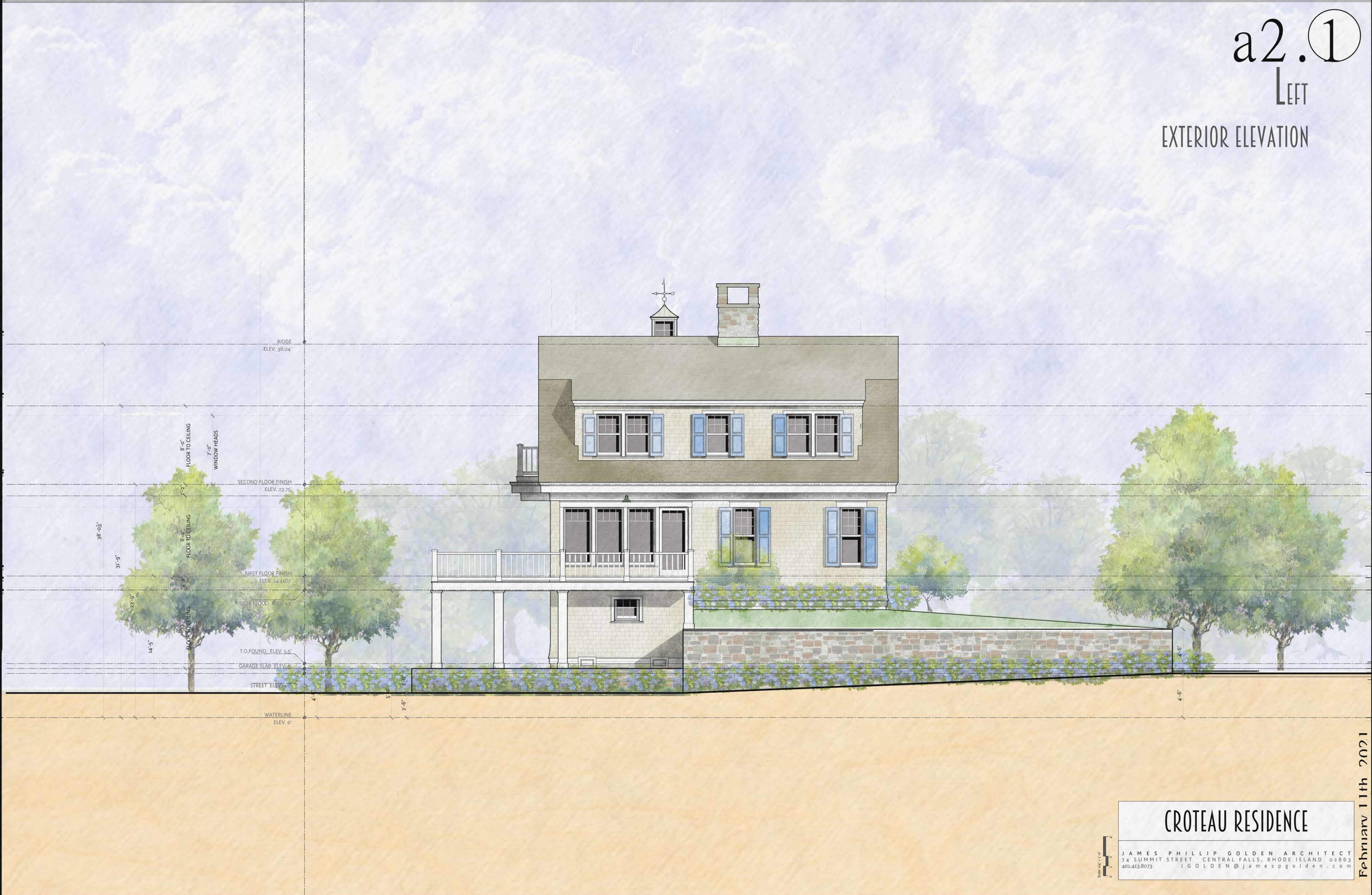
CROTEAU RESIDENCE

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 JGOLDEN@jamespgolden.com

February 11th 2021

a2.1
LEFT

EXTERIOR ELEVATION



CROTEAU RESIDENCE

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

a2.2
REAR

EXTERIOR ELEVATION



38'-0 1/2"

31'-9"

23'-9"

14'-5"

8'-0" FLOOR TO CEILING

8'-2" FLOOR TO CEILING

8'-3" FLOOR TO CEILING

7'-0" WINDOW HEADS

RIDGE
ELEV. 38.04'

SECOND FLOOR FINISH
ELEV. 23.75'

FIRST FLOOR FINISH
ELEV. 14.4167'

BASE FLOOD ELEV. 13'

T.O. FOUND. ELEV. 5.5'

GARAGE SLAB ELEV. 5'

STREET ELEV. 4.5'

WATERLINE
ELEV. 0'

4'-0"

2'-6"

5'-0"

7'-0"

2'-6"

5'-0"

BULKHEAD

WALL IN FRONT OF HOUSE BEYOND

REAR WALL

Scale 1/4" = 1'-0"

0 1 2 4

CROTEAU RESIDENCE

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

February 11th, 2021

a2.3

RIGHT

EXTERIOR ELEVATION



CROTEAU RESIDENCE

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@JAMESPGOLDEN.COM

February 11th, 2021



TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

Town Clerk Stamp

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 7.20.21 ☐ Full Demotion ☐ Partial Demolition

Building Address: 191 SEAVIEW AVE
Number Street

Osterville 02655 Assessor's Map # 138 Assessor's Parcel # 015
Village ZIP

Property Owner: LIAM K. & Amy E. Griffin 603-321-7427
Name Phone#

Property Owner Mailing Address (if different than building address) _____

29 Calle Viriana Santa Clemente CA 92673

Property Owner e-mail address: griffin15@gmail.com

Contractor/Agent: Bayside Building, Inc

Contractor/Agent Mailing Address: P.O. Box 95, Centerville

Contractor/Agent Contact Name and Phone #: James Bowes 508-221-1843
Name Phone #

Contractor/Agent Contact e-mail address: jimmy@baysidebuilding.com

Demolition Proposed - please itemize all changes:

Picking up; moving within lot; installing new basement
under existing building; changing windows & doors
re-skinning; adding pitched roof where flat ones now
exist - adding a 3 car garage w/ living space above

Type of New Construction Proposed: Wood frame in keeping with the current
style as per attach plans

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1890 Additions Year Built: _____

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No ☐ Yes ☐

Property Owner/Agent Signature _____

Historic Districts (OKH or HMSWHD) Abutter List for Subject Parcel 138015

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
138014	ALLIEGRO, GEORGE & DEBRA		PO BOX 543		OSTERVILLE	MA	02655
138015	GRIFFIN, LIAM K & AMY E		29 CALLE VIVIANA		SAN CLEMENTE	CA	92673
138016	ALLIEGRO, GEORGE & DEBRA		PO BOX 543		OSTERVILLE	MA	02655
139087	BAER, MARY M & ROBERT A JR		BOX 1590		BOCA GRANDE	FL	33921
139088	MORRISON, ROBERT S & SUSAN E		600 EAST WESTMINSTER		LAKE FOREST	IL	60045
162022	171 SVA LLC		420 LEXINGTON AVE., SUITE 300		NEW YORK	NY	10170

Historic Districts (OKH or HMSWHD) Abutter Map for Subject Parcel 138015

Direct abutters – all parcels that touch subject property including those across the street or way that would touch but for the road.

Town of Barnstable GIS Unit

gis@town.barnstable.ma.us

Legend

- Subject Parcel
- Abutters
- Parcels
- Town Boundary
- Railroad Tracks
- Buildings
 - Approx. Buildi
 - Buildings
- Painted Lines
 - Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
- Bridge
- Paved Median
- Streams
- Marsh
- Water Bodies

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0 50 100 ft.

1 inch = approx. 100 ft.

Printed on: 7/19/2021



FORM B - BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
294 WASHINGTON STREET, BOSTON, MA 02108

138/015

AREA JAN OVC	FORM NO. BRN 70 772
-----------------	------------------------

MRN-D-11/10/87



Town Barnstable (Osterville/Wianno)

Address 191 Sea View Ave.

Historic Name Julia S. Day House

Use: Present dwelling

Original same

DESCRIPTION:

Date 1898-99

Source Registry of Deeds

Style Queen Anne/Colonial Revival

Architect unknown

Exterior wall fabric shingle

Outbuildings none

Major alterations (with dates) _____

side porch removed

Moved no Date n/a

Approx. acreage .19

Setting residential seaside resort area

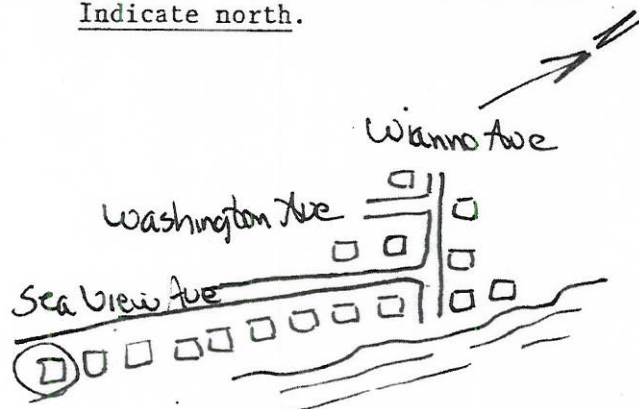
part of Wianno HD

Cont. Bldg. Nat'l Register District

Photo #126-182-C70

SKETCH MAP

Show property's location in relation to nearest cross streets and/or geographical features. Indicate all buildings between inventoried property and nearest intersection. Indicate north.



Recorded by Barbara Crosby

Organization Barnstable Historical Comm.

Date December 1983

(Staple additional sheets here)

ARCHITECTURAL SIGNIFICANCE (Describe important architectural features and evaluate in terms of other buildings within the community.)

The Day House is a large 2 story, rambling structure with less coherence of design than others in the area, perhaps due to alterations. It is gable-roofed with cross-gables and chimneys, and includes two large, 2 story, flat-roofed wings. An interesting feature is a second story oriel with diamond-pane sash.

HISTORICAL SIGNIFICANCE (Explain the role owners played in local or state history and how the building relates to the development of the community.)

This house was built in 1898-99 by Julia S. Day. It is similiar to many others in the area, and may have originally have been designed by Boston architect, Horace Fraser.

BIBLIOGRAPHY and/or REFERENCES (name of publication, author, date and publisher)


Barnstable County Atlas. 1907.
Barnstable County REgistry of Deeds and Probate.

←

Parcel: 138-015

Location: 191 SEA VIEW AVENUE, Osterville

Owner: GRIFFIN, LIAM K & AMY E



2021/04/07

Parcel
138-015

Location
191 SEA VIEW AVENUE

Village
Osterville

Town sewer account
No

CWMP Sewer Expansion (subject to change with final engineering design)
None planned at this time

Developer lot:
LOTS D & 1-A


Road type
Town

Fire district
C-O-MM

Secondary road

Road index
1450

Interactive map



▼_Owner: GRIFFIN, LIAM K & AMY E

Owner
GRIFFIN, LIAM K & AMY E

Street1
29 CALLE VIVIANA

City
SAN CLEMENTE

Co-Owner

Street2

State Zip Country
CA 92673

Book page
C224745/0

▼_ Land

Acres
0.9

Topography
Level

Utilities
Septic,Gas,Public Water

Use
Single Fam M-01

Street factor
Paved

Location factor
Waterfront,Excel View

Zoning
RF-1

Town Zone of Contribution
AP (Aquifer Protection Overlay District)

State Zone of Contribution
OUT

Neighborhood
WF13

▼_ Construction

▼_ Building 1 of 1

Year built
1890

Living area
5091

Gross area
9786

Style
Colonial

Model
Residential

Grade
Exceptional

Stories
2

Roof structure
Gable/Hip

Roof cover
Wood Shingle

Exterior wall
Wood Shingle

Interior wall
Plastered

Interior floor
Carpet

Foundation

Heat type
Hot Air

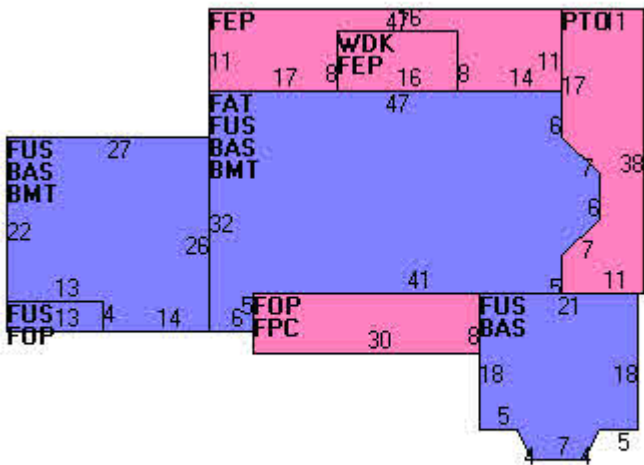
Heat fuel
Gas

AC type
None

Bedrooms
9 Bedrooms

Bath rooms
4 Full-0 Half

Total rooms
13 Rooms



▼_ Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
02/12/2021	Alt-Int work-Res	BLDR-21-179	\$25,000	04/07/2021	Gutting the interior of the home to the studs only so architect can design plans for future work
06/13/2012	New Roof	201203505	\$10,000	06/30/2012	REROOF STRIPPING OLD

▼_ Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	12/14/2020	GRIFFIN, LIAM K & AMY E	C224745/0	\$4,800,000
2	01/21/2020	PLIMPTON, PEGGY L ESTATE OF	NO20P0517EA/0	\$0
3	10/27/2015	PLIMPTON, PEGGY L	D1281046/0	\$0
4	04/02/1990	PLIMPTON, HOLLIS W JR & PEGGY L	C120183/0	\$1,300,000
5	09/08/1987	SCHILLING, ARTHUR G & JANET	C111984/0	\$1,400,000

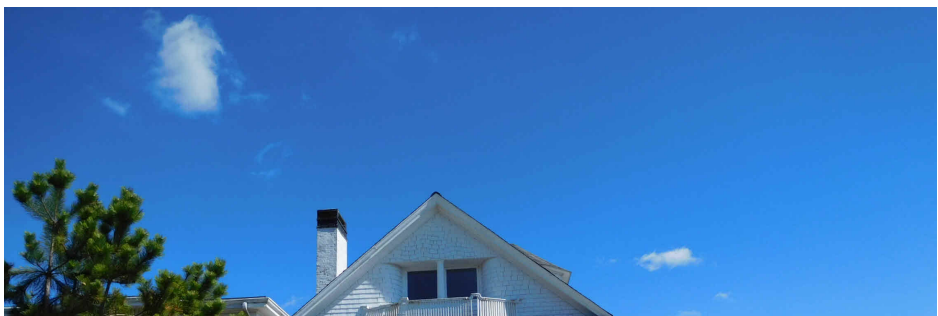
https://itsqldb.town.barnstable.ma.us:8407

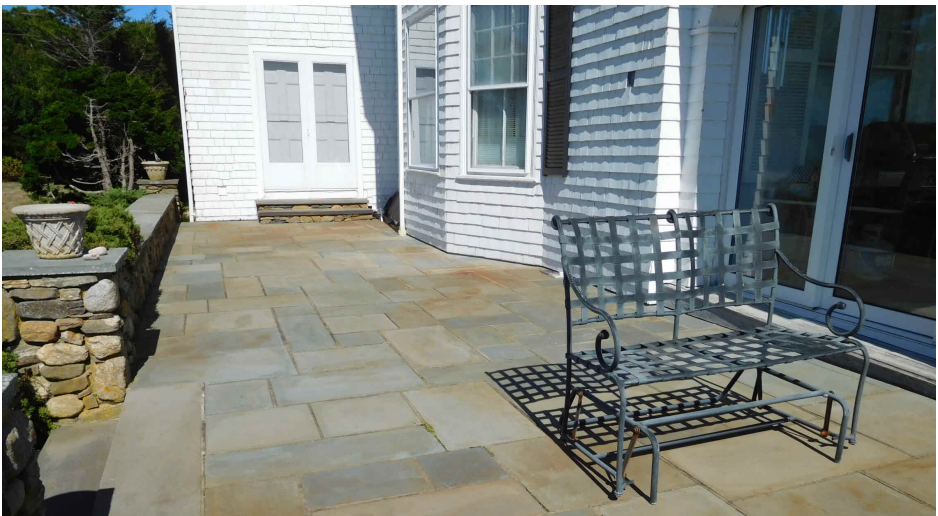
1/5

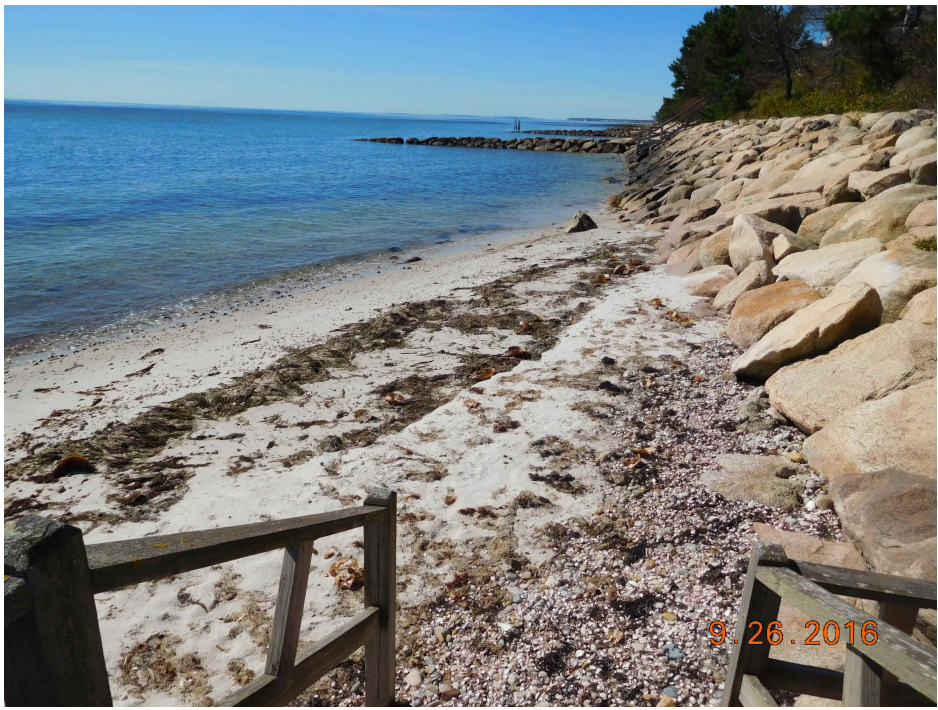
Assessment History

Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2021	\$1,010,800	\$80,900	\$11,300	\$3,882,400	\$4,985,400
2	2020	\$851,100	\$104,700	\$8,500	\$4,235,300	\$5,199,600
3	2019	\$851,100	\$104,700	\$8,700	\$3,764,700	\$4,729,200
4	2018	\$763,200	\$116,700	\$4,600	\$3,962,900	\$4,847,400
5	2017	\$732,700	\$115,700	\$4,600	\$3,962,900	\$4,815,900
6	2016	\$732,700	\$115,700	\$4,600	\$3,920,000	\$4,773,000
7	2015	\$890,200	\$118,500	\$10,200	\$3,928,300	\$4,947,200
8	2014	\$890,200	\$118,500	\$10,500	\$3,928,300	\$4,947,500
9	2013	\$890,200	\$118,500	\$10,800	\$3,928,300	\$4,947,800
10	2012	\$910,500	\$111,700	\$8,700	\$3,928,300	\$4,959,200
11	2011	\$1,063,900	\$7,400	\$0	\$3,928,300	\$4,999,600
12	2010	\$1,063,900	\$7,400	\$0	\$4,419,400	\$5,490,700
13	2009	\$1,409,600	\$5,400	\$0	\$5,595,300	\$7,010,300
14	2008	\$1,409,600	\$5,400	\$0	\$4,165,900	\$5,580,900
16	2007	\$1,405,100	\$5,400	\$0	\$4,165,900	\$5,576,400
17	2006	\$1,414,200	\$5,400	\$0	\$4,116,400	\$5,536,000
18	2005	\$1,208,200	\$5,200	\$0	\$2,963,800	\$4,177,200
19	2004	\$984,400	\$5,200	\$0	\$2,963,800	\$3,953,400
20	2003	\$649,800	\$5,200	\$0	\$1,330,000	\$1,985,000
21	2002	\$649,800	\$5,200	\$0	\$1,330,000	\$1,985,000
22	2001	\$491,700	\$4,800	\$0	\$1,045,000	\$1,541,500
23	2000	\$348,500	\$4,000	\$0	\$906,300	\$1,258,800
24	1999	\$348,500	\$4,000	\$0	\$906,300	\$1,258,800
25	1998	\$348,500	\$4,000	\$0	\$906,300	\$1,258,800
26	1997	\$266,200	\$0	\$0	\$906,300	\$1,172,500
27	1996	\$266,200	\$0	\$0	\$906,300	\$1,172,500
28	1995	\$266,200	\$0	\$0	\$906,300	\$1,172,500
29	1994	\$240,200	\$0	\$0	\$815,700	\$1,055,900
30	1993	\$240,200	\$0	\$0	\$815,700	\$1,055,900
31	1992	\$273,000	\$0	\$0	\$906,300	\$1,179,300
32	1991	\$353,200	\$0	\$0	\$953,000	\$1,306,200
33	1990	\$353,200	\$0	\$0	\$953,000	\$1,306,200
34	1989	\$353,200	\$0	\$0	\$953,000	\$1,306,200
35	1988	\$323,600	\$0	\$0	\$429,300	\$752,900
36	1987	\$323,600	\$0	\$0	\$429,300	\$752,900
37	1986	\$323,600	\$0	\$0	\$429,300	\$752,900

Photos









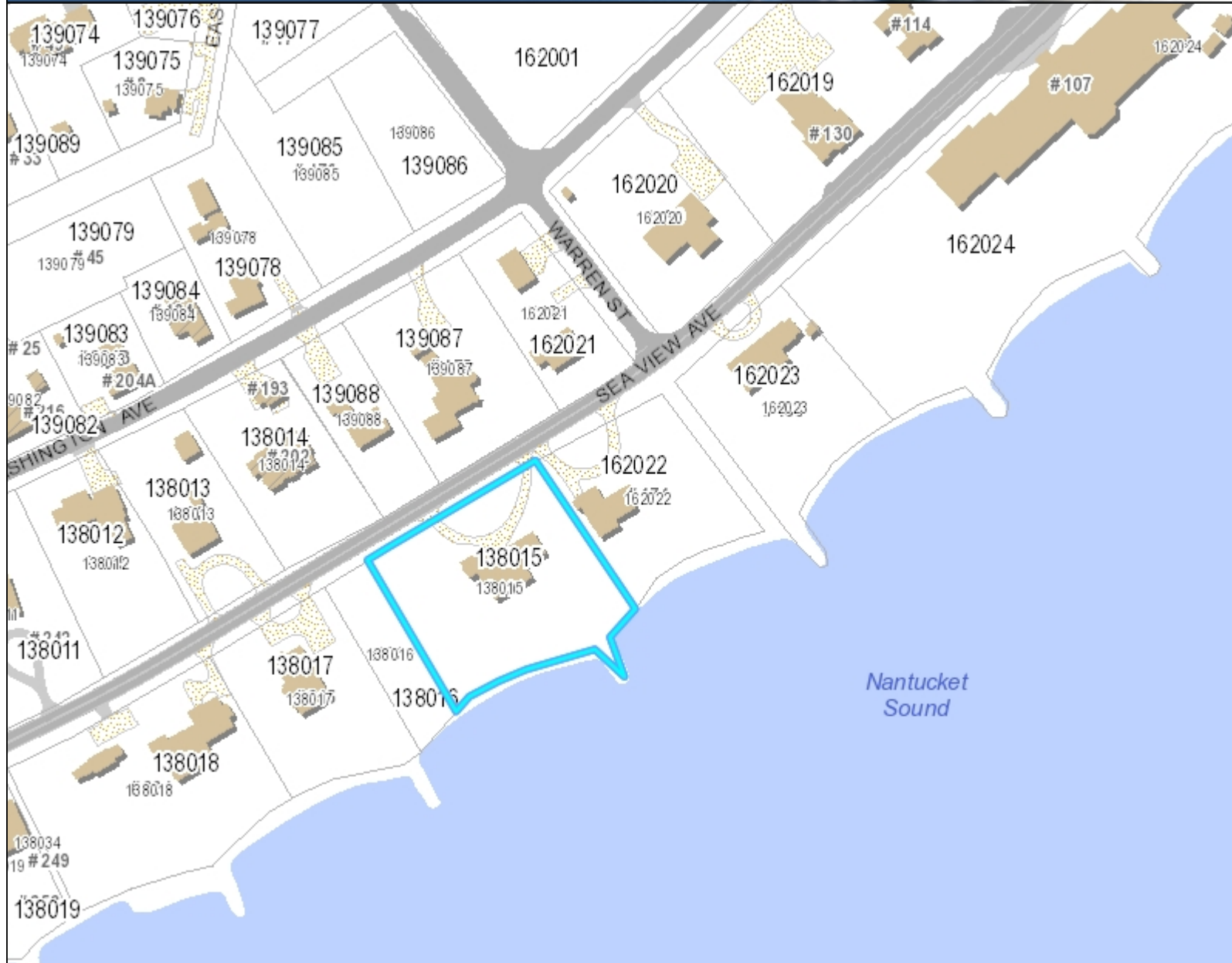
Historical Commission Abutter List for Subject Parcel 138015

All property owners within 300 feet of the subject property's boundaries

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
138012	COCHRAN, PATRICIA H		BOX 578		OSTERVILLE	MA	02655
138013	KNIGHTLY, TODD A & DIANA B		700 HIGH ST		DEDHAM	MA	02026
138014	ALLIEGRO, GEORGE & DEBRA		PO BOX 543		OSTERVILLE	MA	02655
138015	GRIFFIN, LIAM K & AMY E		29 CALLE VIVIANA		SAN CLEMENTE	CA	92673
138016	ALLIEGRO, GEORGE & DEBRA		PO BOX 543		OSTERVILLE	MA	02655
138017	SWAN, THOMAS J III	C/O CHOATE, HALL & STEWART	PO BOX 961989		BOSTON	MA	02196
138018	MARTORE, JOSEPH A & GRACIA C TRS	JKM WIANNO NOMINEE TRUST	1881 N NASH ST UNIT 1901		ARLINGTON	VA	22209
139078	SULLIVAN, LUCIANN BOYD ETAL	C/O THOMPSON, LUCIANN P	PO BOX770991		STEAMBOAT SPRINGS	CO	80477
139084	PARRELLA, DAVID A		PO BOX 483		BARNSTABLE	MA	02630
139085	DACEY, BRIAN T TR	%DONAHUE, ANNE L TR	170 NEWBURY STREET		BOSTON	MA	02116
139086	PARRELLA, DAVID	%VARNEY, SHANNON & ROBYN	140 SHAWMUT AVENUE	APARTMENT 1D	BOSTON	MA	02118
139087	BAER, MARY M & ROBERT A JR		BOX 1590		BOCA GRANDE	FL	33921
139088	MORRISON, ROBERT S & SUSAN E		600 EAST WESTMINSTER		LAKE FOREST	IL	60045
162020	SEAVIEW PROPERTY LLC	C/O ALBERT SALVATORE, RESIDENT AGENT	1375 W NINTH STREET FLOOR 10		CLEVELAND	OH	44114

This list by itself does NOT constitute a "Certified List of Abutters" and is provided only as an aid to the determination of abutters. If a Certified Abutter List is required, you must contact the Assessing Division to have this list certified.

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
162021	LITTLEFORD, MARY R		170 SEA VIEW AVE		OSTERVILLE	MA	02655
162022	171 SVA LLC		420 LEXINGTON AVE., SUITE 300		NEW YORK	NY	10170
162023	MCWILLIAMS, DEAN R & ANDREA B		12 NILES ROAD		AUSTIN	TX	78703

**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Painted Lines
- Parking Lots
 - Paved
 - Unpaved
- Driveways
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
- Bridge
 - Bridge
- Paved Median
 - Paved Median
- Streams
- Marsh
- Water Bodies

Map printed on: 8/10/2021

0 167 333 Feet

Approx. Scale: 1 inch = 167 feet



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**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Map printed on: 8/10/2021

0 83 167 Feet

Approx. Scale: 1 inch = 83 feet



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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Maldonado, Kaitlyn

From: Sarah Korjeff <skorjeff@capecodcommission.org>
Sent: Tuesday, August 10, 2021 11:01 AM
To: Jimmy Bowes
Cc: Maldonado, Kaitlyn; Chloe Schaefer
Subject: Re: 191 Sea View Ave

Hi Jimmy,

I reviewed the most recent plans you sent (dated August 3, 2021), and I focused on the sheets labeled A5a, A6a, A7a, and A8a which show the window pane patterns that are closer to the existing ones. It seems clear from these plans that the original gable window forms and distinctive architectural trim will be preserved, and that the new roof forms added to the flat-roofed parts of the building will be distinguishable from the original gable roof form.

The proposed changes to the rear porch design incorporate shingled columns and arched openings that echo the original but apply them in a slightly different configuration. This goes a long way toward retaining the distinctive features of the rear porch. To preserve its original form, more of the sloped porch roof should be revealed, which could be accomplished by reducing the second-floor balcony by several feet on each end. In conjunction with this, I encourage you to consider the asymmetry of the second-floor windows on the rear facade and to alter the proposed left and center window/doors to better preserve the asymmetry that is so characteristic of Shingle Style architecture.

Please feel free to contact me if you have questions about these comments. I have copied Kaitlyn Maldonado, the current staff contact for the Barnstable Historical Commission, so she can share these comments with the Historical Commission.

Sincerely,
Sarah

Sarah Korjeff
Historic Preservation Specialist/Planner
Cape Cod Commission
3225 Main Street/P.O. Box 226
Barnstable, MA 02630
508-362-3828 (front desk)
508-744-1215 (direct)

From: Jimmy Bowes <jimmy@baysidebuilding.com>
Sent: Tuesday, August 3, 2021 7:30 PM
To: Sarah Korjeff <skorjeff@capecodcommission.org>
Cc: Erin.Logan@town.barnstable.ma.us <Erin.Logan@town.barnstable.ma.us>
Subject: 191 Sea View Ave

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Sarah,

We made the changes that I think you will now agree with.

Front ~ North Elevation

- Center Gable detail is back to original format
- Right Gable looks the same from the front but will show that it is not connected to the original main roof
- Pages 11 ~ 14 show all the same but with a different (more original) grill pattern

Left Gable ~ East Elevation

- Shows revised rear porch details

Rear ~ South Elevation

- Left side of elevation clearly shows that the front right gable is disconnected from main roof and we added dotted lines to clear it up further
- Rear Porch has been adjusted by removing all round cast columns and replacing them with shingled, arched columns to mimic the original, also added small section of shed roofs left and right ends of 2nd floor deck. Plus we added a shingled wall around the parapet, again to mimic the original. From the water it will be almost the same look.
- We re-detailed the upper gables to have the wave shingle pattern

Right ~ West Elevation

- You can now see where the new roof is not connected to the old and you can even see the chimney that is completely on the far side of the gable. Also please note, the roof that appears to connect is really the side of the gable that is above the front door, so they are nowhere near one another.
- Also we added the railing back above the angle bay window tower and added the wave shingle detail back in again.

Hopefully these changes eliminate any lingering qualms you may have had. If so I would love it if you could send Erin and myself a quick note stating that fact!

Thanks

Jimmy

James N. Bowes

Bayside Building, Inc.

Vice President / Sales

Office: 508.771.1040

Fax: 508.775.0155

www.baysidebuilding.com

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THE RESIDENCE AT 191 SEAVIEW

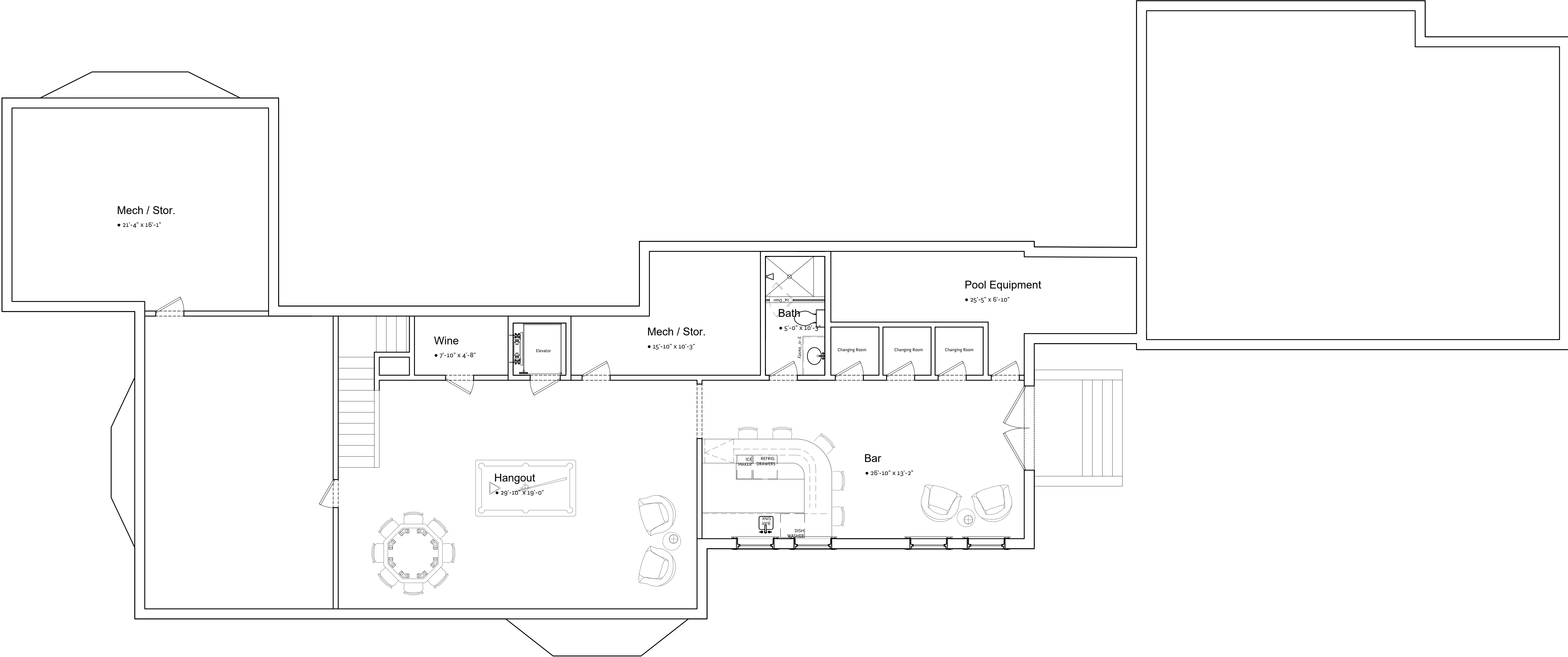
Schematic Design
July 19th, 2021
191 Seaview Avenue
Osterville, Massachusetts

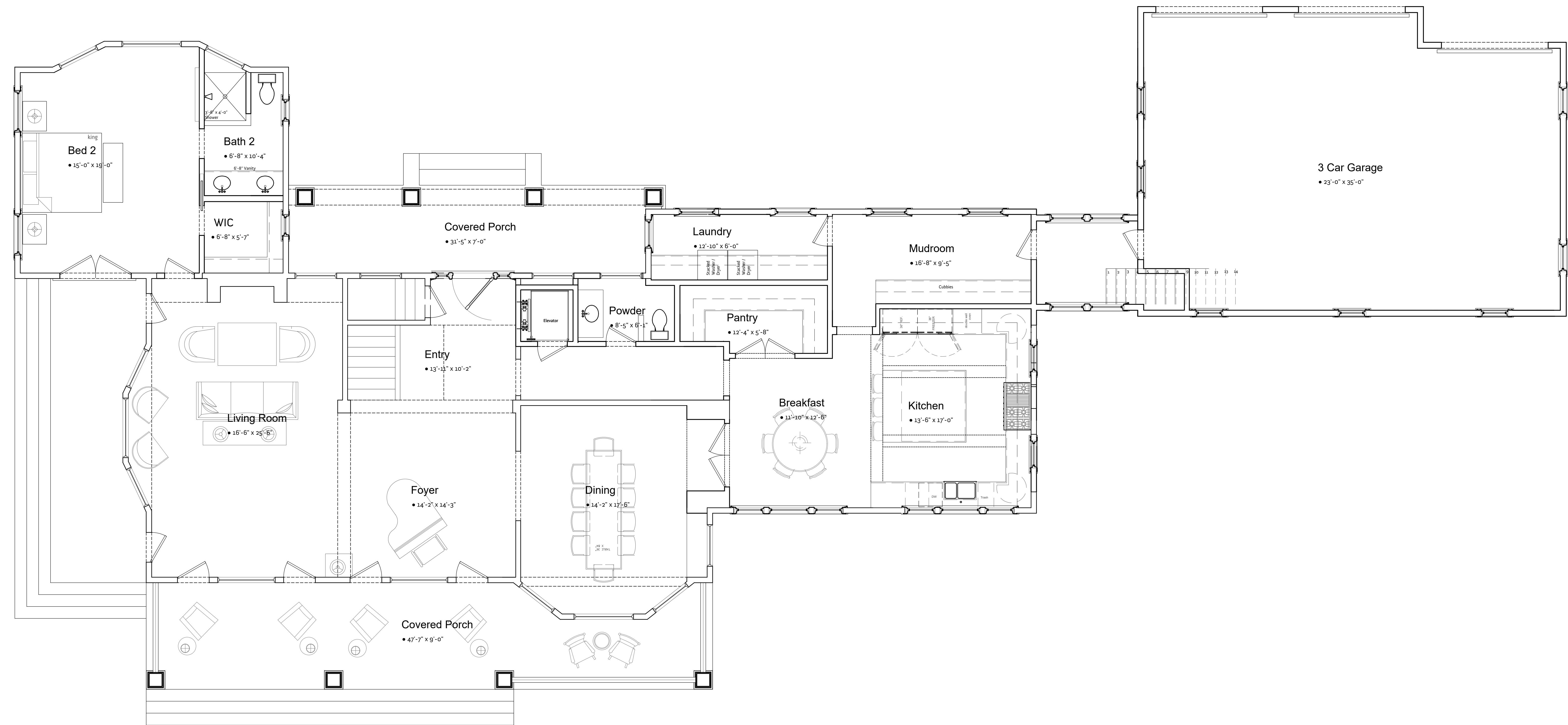
Scale: 1/4" = 1'-0"

RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET - CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

July 19th, 2021

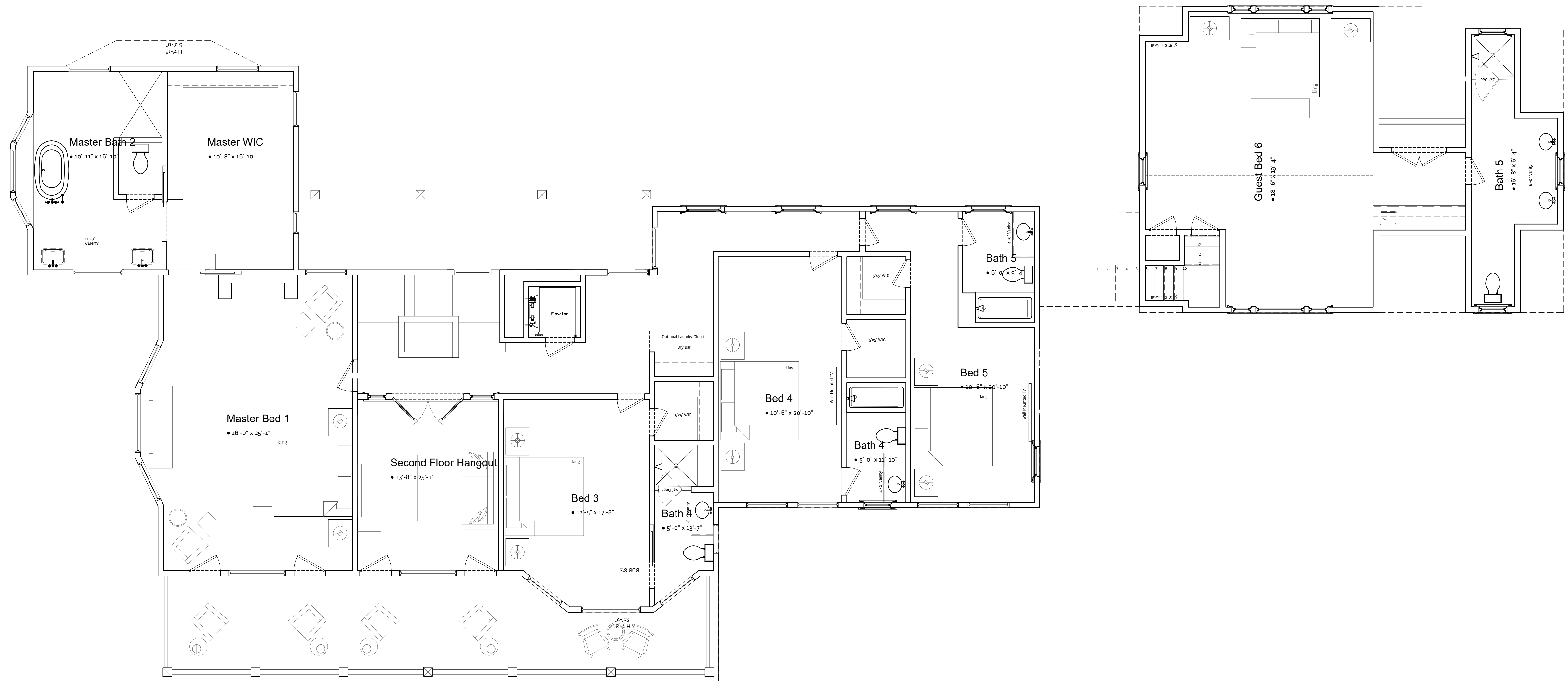




RESIDENCE AT 191 SEAVIEW

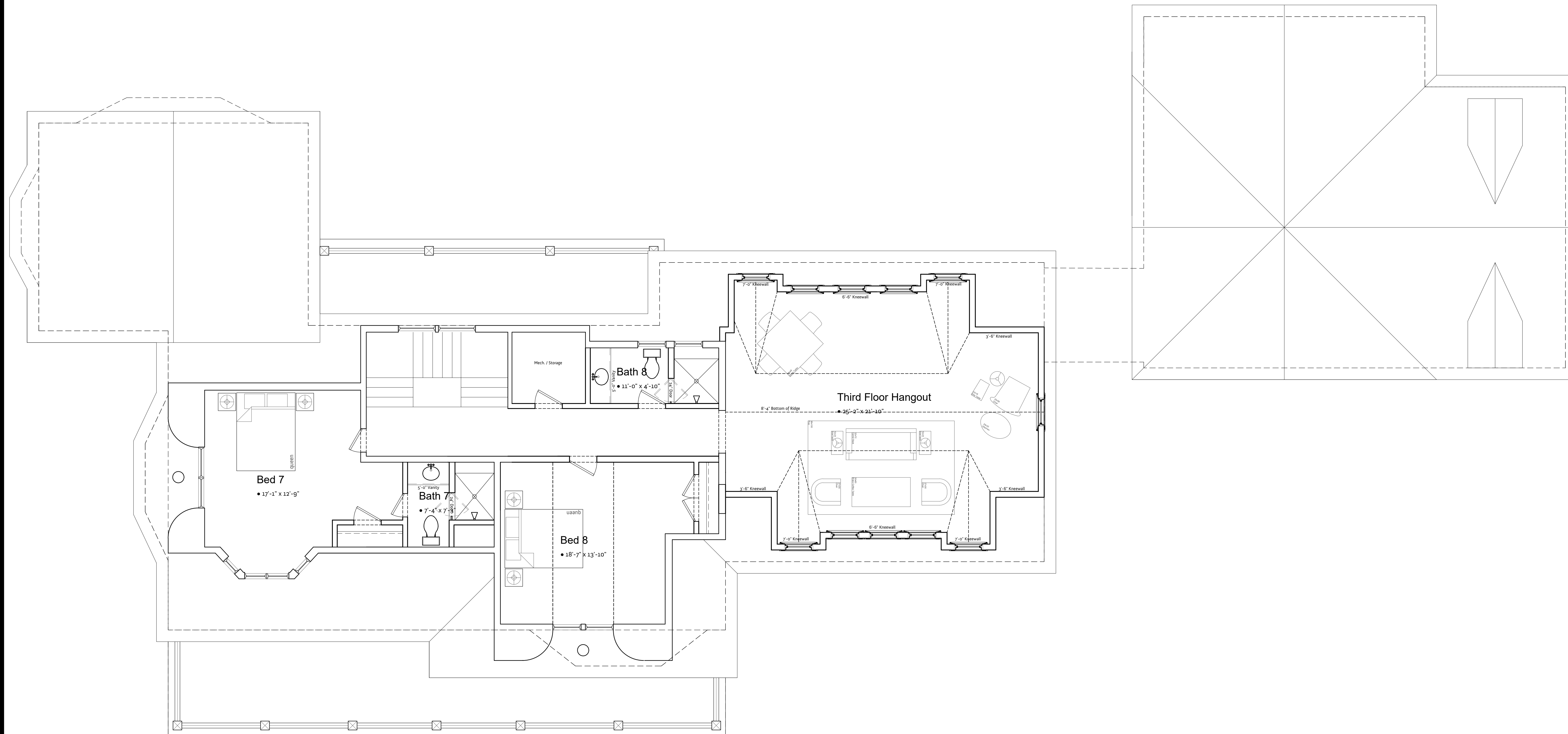
JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET, CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@JAMESPGOLDEN.COM

Scale: 1/8" = 1'-0"



RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET, CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@JAMESPGOLDEN.COM





RESIDENCE AT 191 SEAVIEW

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RESIDENCE AT 191 SEAVIEW

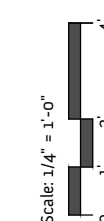


JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET, CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com



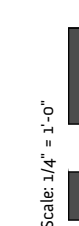
RESIDENCE AT 191 SEAVIEW

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74 SUMMIT STREET, CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@JAMESPGOLDEN.COM





RESIDENCE AT 191 SEAVIEW



JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET, CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@JAMESPGOLDEN.COM

e2.3
EXISTING LEFT EXTERIOR ELEVATION



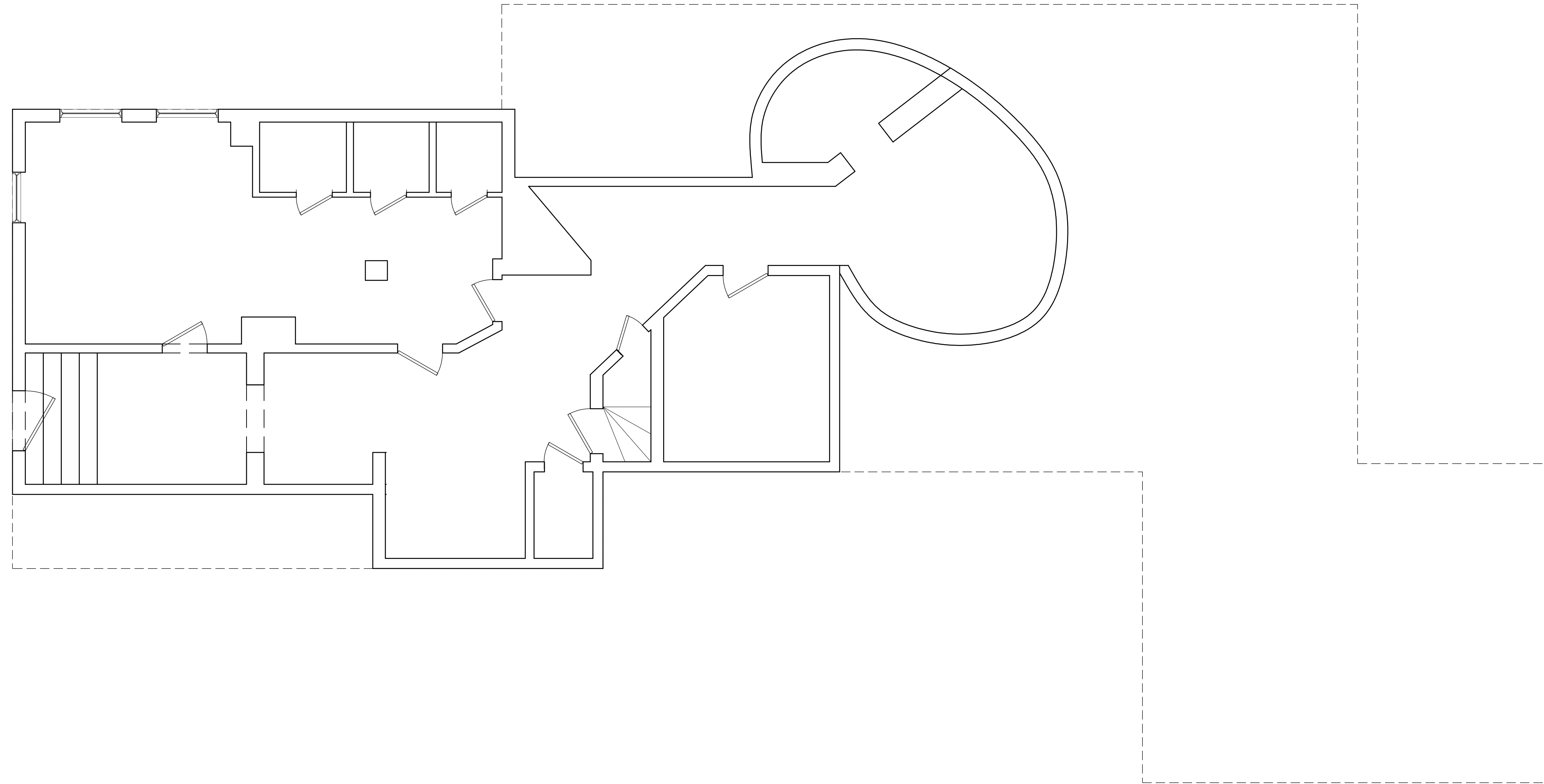
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RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

March 4th, 2021

e1.0
EXISTING LOWER LEVEL FLOOR PLAN



Scale: 1/4" = 1'-0"

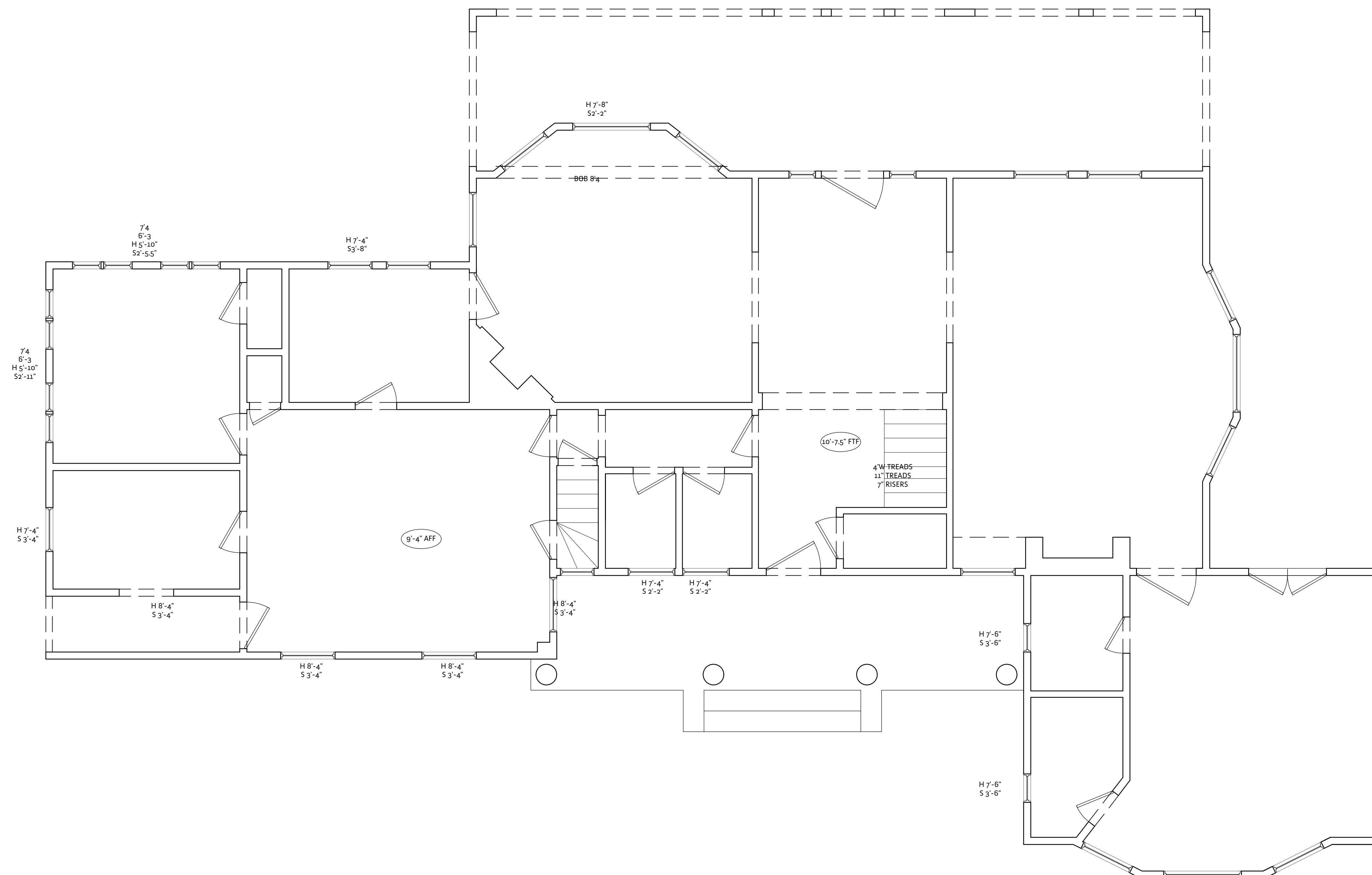
RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET, CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

March 4th, 2021

e1.1

EXISTING MAIN FLOOR PLAN



Scale: 1/4" = 1'-0"

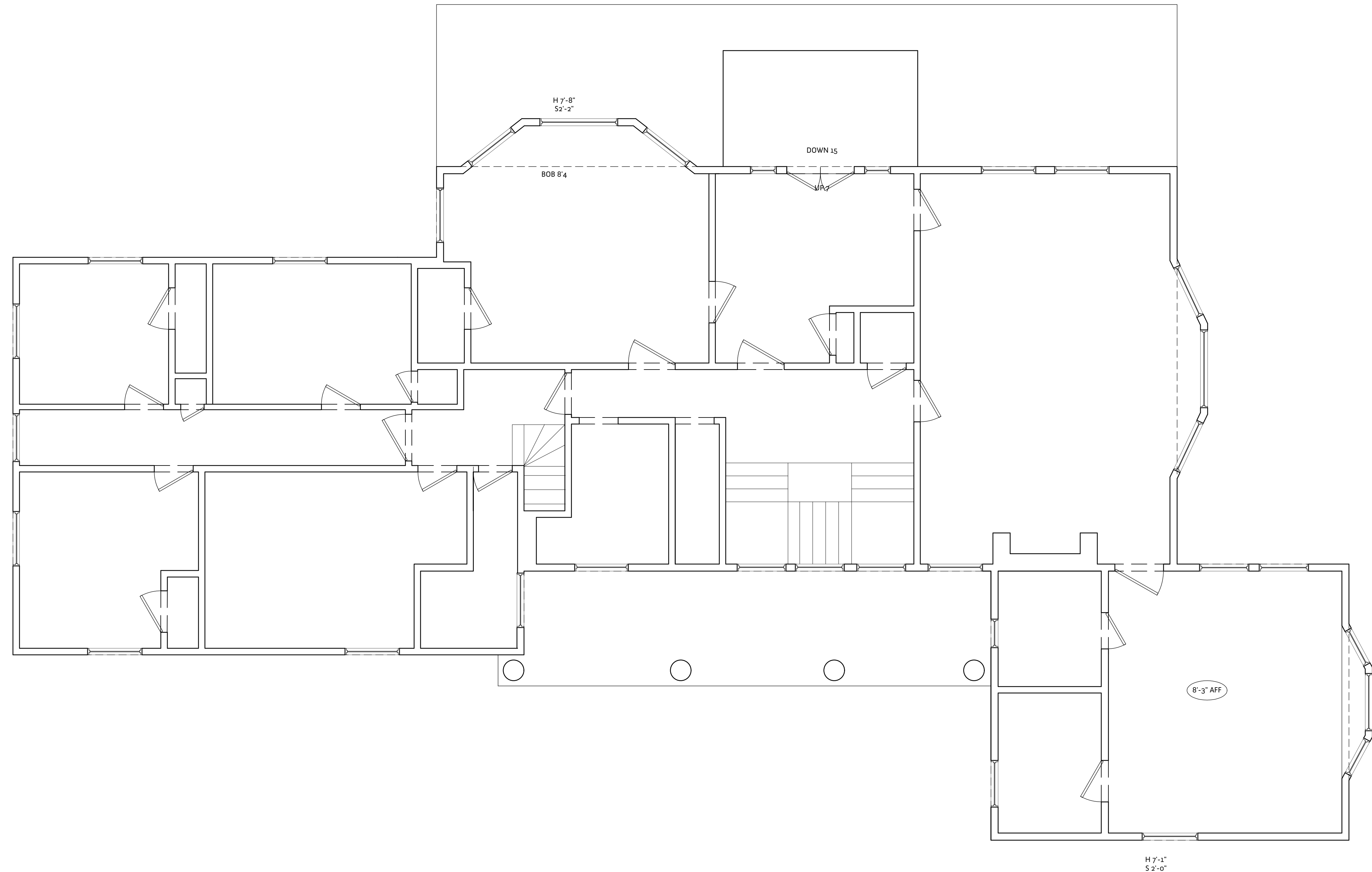
RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

March 4th, 2021

e1.2

EXISTING SECOND FLOOR PLAN



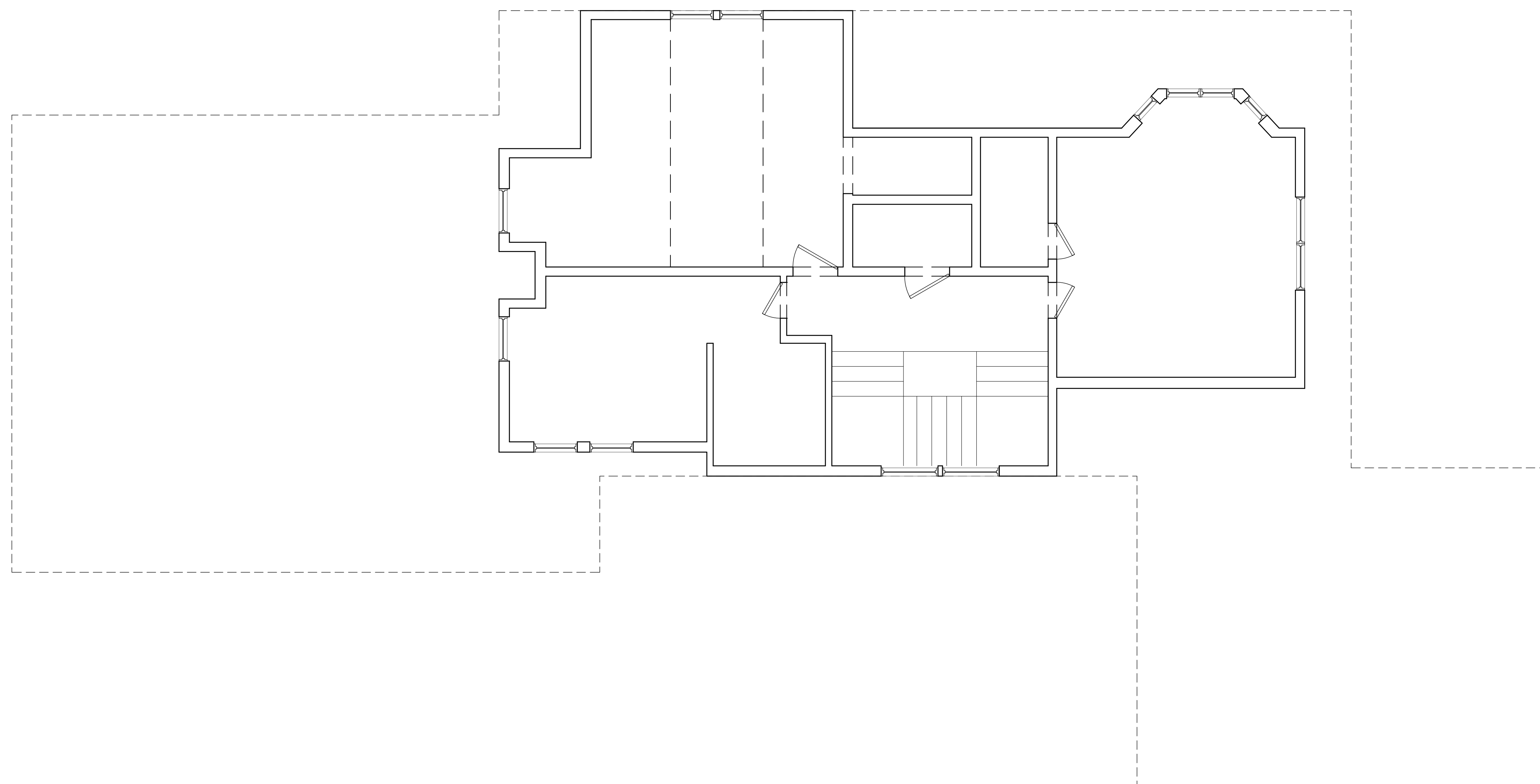
RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET, CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

Scale: 1/4" = 1'-0"

March 4th, 2021

e1.3
EXISTING ATTIC FLOOR PLAN



Scale 1/4" = 1'-0"

RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

March 4th, 2021

e2.0
EXISTING FRONT EXTERIOR ELEVATION



Scale 1/4" = 1'-0"

RESIDENCE AT 191 SEAVIEW

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74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

March 4th, 2021

e2.1
EXISTING RIGHT EXTERIOR ELEVATION



Scale: 1/4" = 1'-0"

RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

March 4th, 2021

e2.2
EXISTING REAR EXTERIOR ELEVATION



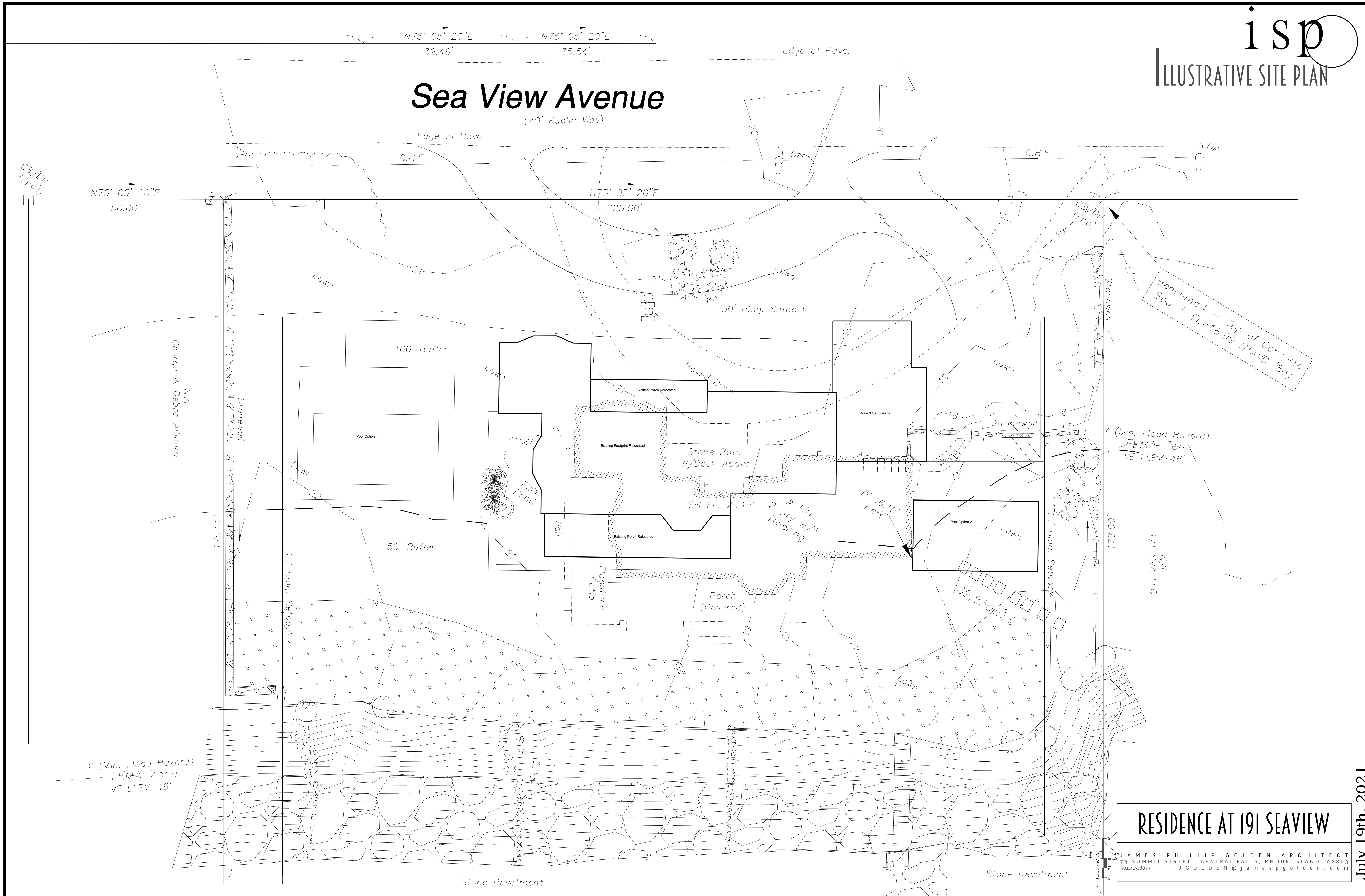
Scale: 1/4" = 1'-0"

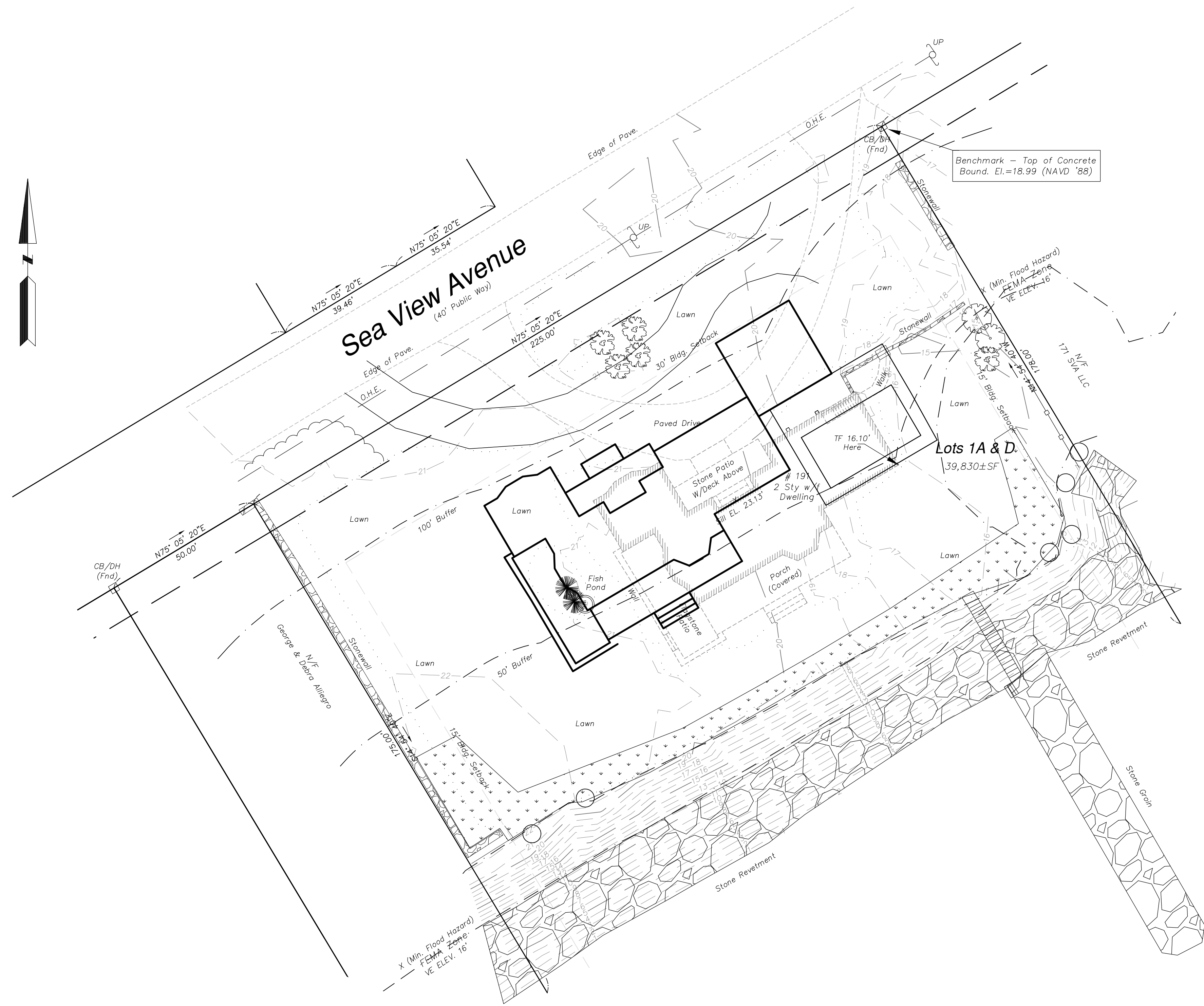
RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

March 4th, 2021

(40' Public Way)

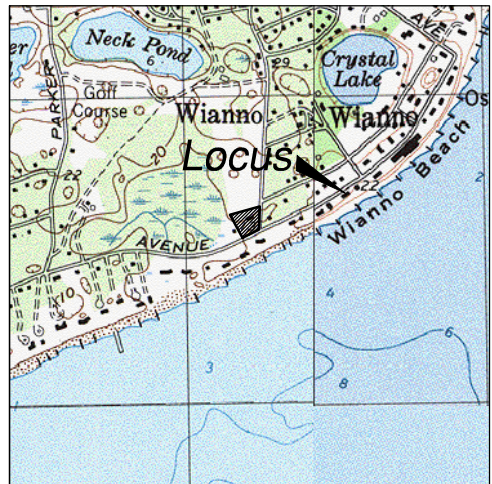




Nantucket Sound

DIRECTIONS:

From Hyannis - Follow Main Street to the West End Rotary. Take third exit onto Scudder Ave. Turn right onto Smith Street at the stop sign. Continue on to Craigville Beach Road and left onto South Main Street. Continue over the bridge to Osterville, and left onto East Bay Road turn left onto Wianno Avenue and right onto Seaview Avenue #191 is on the left.



LOCATION MAP
(1"=2000±')

ZONE:

RF-1
Area (min.) 87,120 SF (RPD)
Frontage (min) 20'
Width (min) 125'
Setbacks:
Front 30'
Side 15'
Rear 15'

ASSESSORS REF.:

Map 138 Parcel 015

OVERLAY DISTRICT:

AP - Aquifer Protection District
Resource Protection Overlay District

FLOOD ZONE:

Zones VE Elev. 16'
& X (Min Flood Hazard)
Community Panel No.
#250001 C0776 J
July 16, 2014

REFERENCES:

LC Cert. 224745
LCP 10290 A Lot D
LCP 13687 B Lot 1A

LEGEND:

- CDT Cedar Tree
- HT Holly Tree
- DT Deciduous Tree
- CT Coniferous Tree
- Utility Pole
- Electric
- Gas
- Wetland Flag
- Light Post
- CB/DH
- Overhead Wires
- Elevation Contour

NOTES:

- The structures shown were located on the ground by conventional survey methods on 2/26/2021
- The property line information shown hereon was compiled from available record information.
- The datum used is NAVD 1988, a fixed mean sea level datum obtained by RTK GPS performed by Sullivan Engineering & Consulting Inc.
- Topographic information was collected using both conventional survey method and RTK GPS on 2/26/2021.

PREPARED FOR:

Bayside Building, Inc.

PREPARED BY:

Sullivan Engineering & Consulting, Inc.
(508) 428-3344 • P.O. Box 659 • 711 Main Street, Osterville, MA 02655
secl@sullivanengin.com • www.sullivanengin.com

Draft: CTR/ASL
Review: JOD/CTR
Project: Bayside

Field: WHK/CTR
Comp.: CTR/ASL
Project#: 1998101

TITLE:

Site Plan
Proposed Improvements-H
At
191 Sea View Avenue
Barnstable (Osterville) Mass.

DATE:

July 2 2021

SCALE:

1"=20'

e2.0
EXISTING FRONT EXTERIOR ELEVATION



Scale 1/4" = 1'-0"

RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

March 4th, 2021

e2.1
EXISTING RIGHT EXTERIOR ELEVATION



Scale 1/4" = 1'-0"

RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
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March 4th, 2021

e2.2
EXISTING REAR EXTERIOR ELEVATION



Scale 1/4" = 1'-0"

RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

March 4th, 2021

e2.3
EXISTING LEFT EXTERIOR ELEVATION



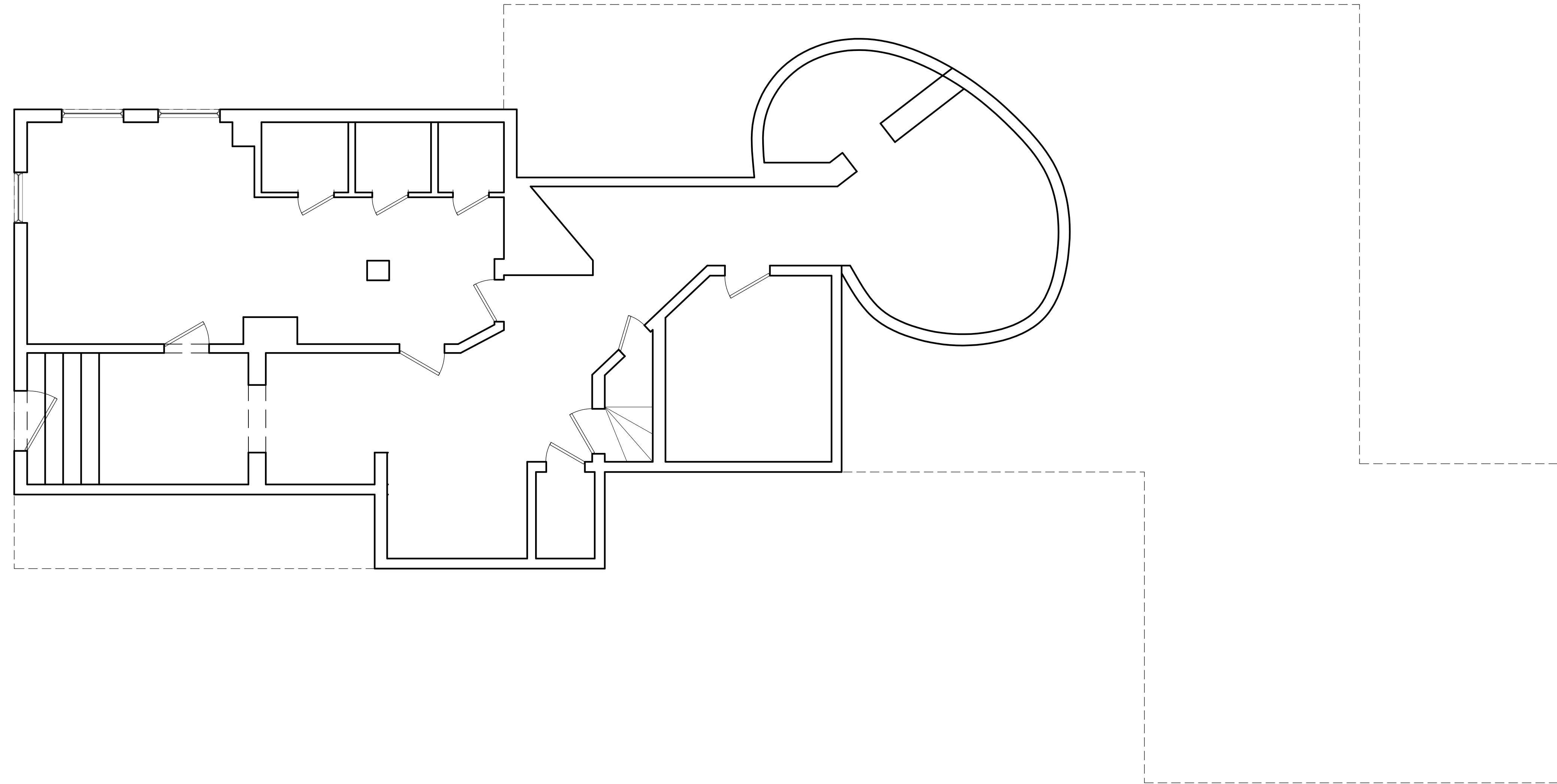
Scale 1/4" = 1'-0"

RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

March 4th, 2021

e1.0
EXISTING LEVEL FLOOR PLAN



Scale: 1/4" = 1'-0"

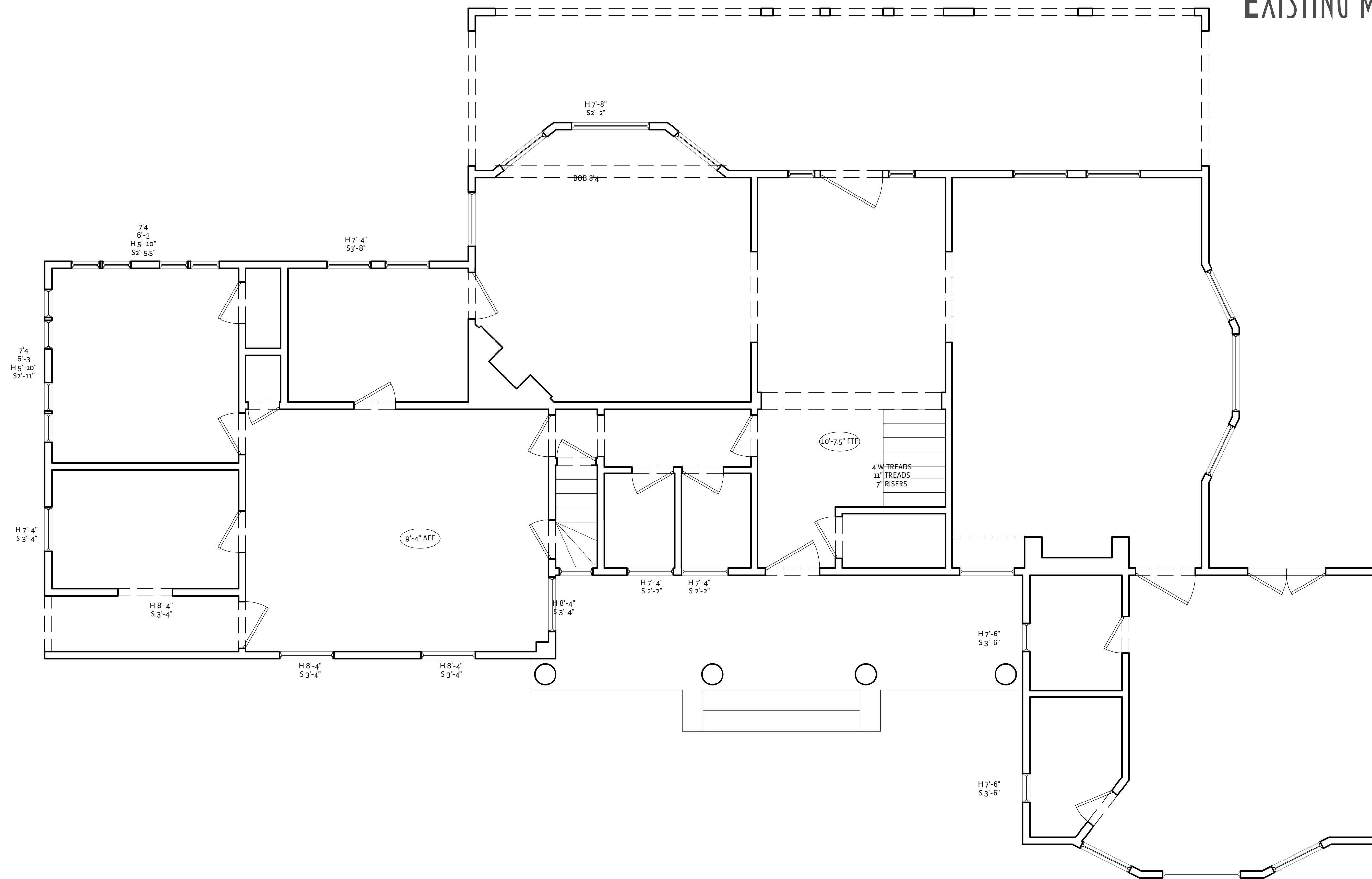
RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET, CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

March 4th, 2021

e1.1

EXISTING MAIN FLOOR PLAN



Scale: 1/4" = 1'-0"

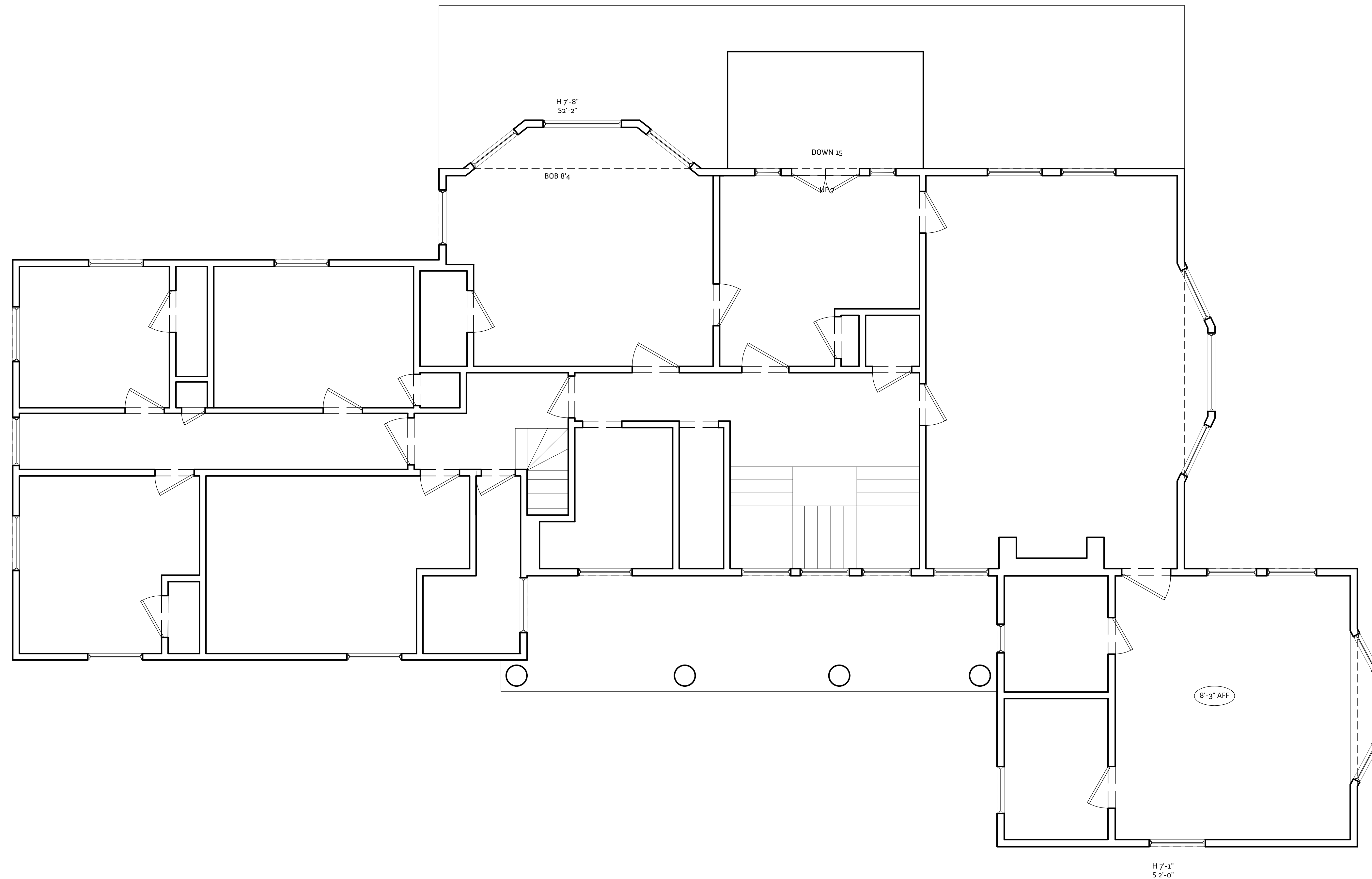
RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
74 SUMMIT STREET, CENTRAL FALLS, RHODE ISLAND 02863
401.413.8073 J.GOLDEN@jamespgolden.com

March 4th, 2021

e1.2

EXISTING SECOND FLOOR PLAN



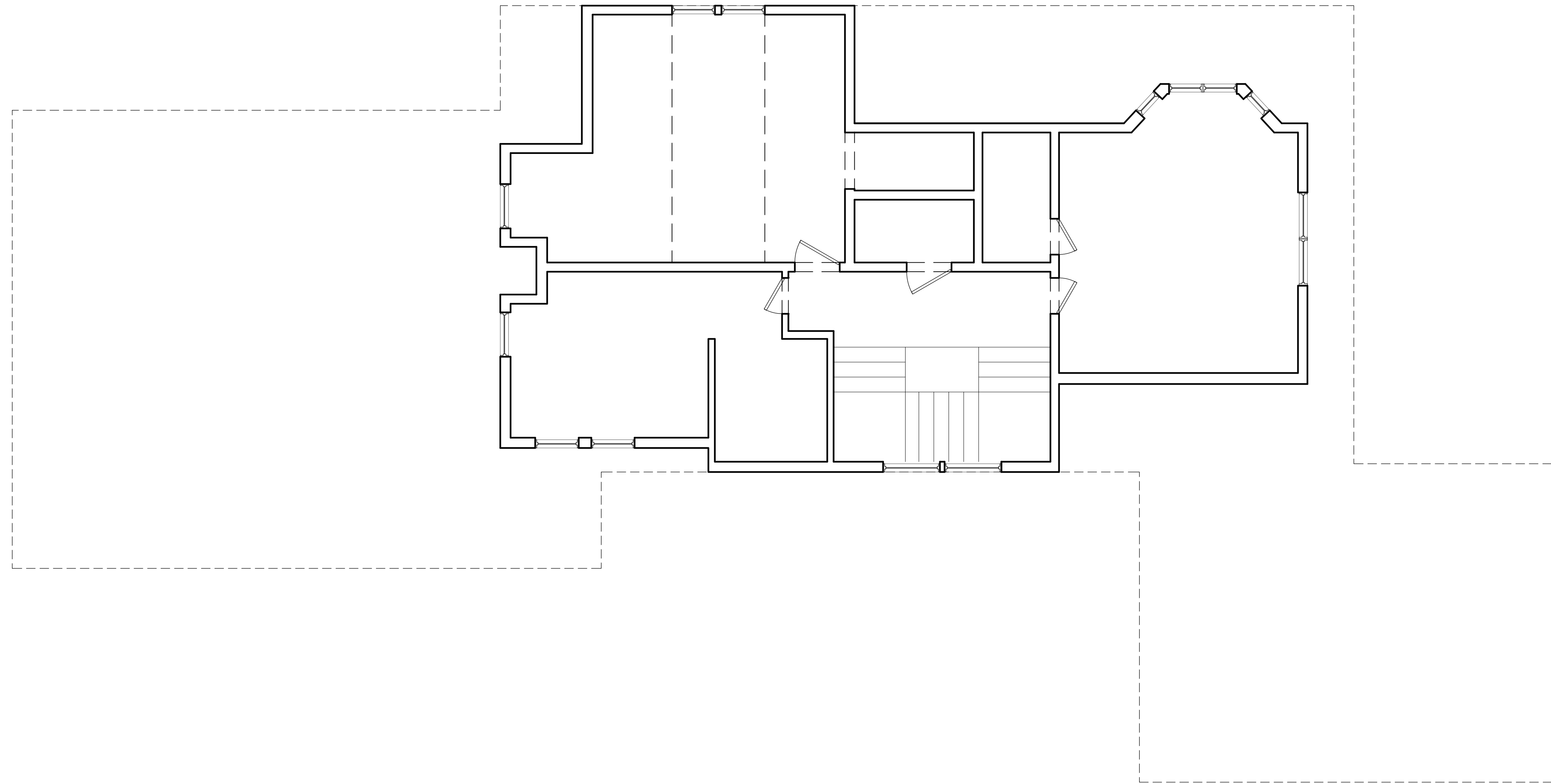
Scale: 1/4" = 1'-0"

RESIDENCE AT 191 SEAVIEW

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401.413.8073 J.GOLDEN@jamespgolden.com

March 4th, 2021

e1.3
EXISTING ATTIC FLOOR PLAN



RESIDENCE AT 191 SEAVIEW

JAMES PHILLIP GOLDEN ARCHITECT
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March 4th, 2021



TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

Town Clerk Stamp

19 JUL '21 PM3:11
BARNSTABLE TOWN CLERK

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application 7/19/2021 ☒ Full Demotion ☐ Partial Demolition

Building Address: 24 Maple Ave.
Number Street

Centerville, Ma. 02632 Assessor's Map # 207 Assessor's Parcel # 207037
Village ZIP

Property Owner: Jane E. Stiles, Trustee of Jane E. Stiles Trust (617) 851-7665
Name Phone#

Property Owner Mailing Address (if different than building address) 141 Dorchester Ave, Apt 602
Boston, Ma. 02127

Property Owner e-mail address: shames.stiles@comcast.net

Contractor/Agent: Mcagher Construction Inc.

Contractor/Agent Mailing Address: 776 Main St., Osterville, Ma. 02655

Contractor/Agent Contact Name and Phone #: Kim Almquist (617) 406 7051
Name Phone #

Contractor/Agent Contact e-mail address: Kim@mcagherinc.com

Demolition Proposed - please itemize all changes:

Propose to demo main house, garage, landscape walls, stairs and asphalt driveway

Type of New Construction Proposed: Construct a new single family home with attached garage

Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1936 Additions Year Built: 1936

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No ☒ Yes ☐

Kim Almquist
Property Owner/Agent Signature

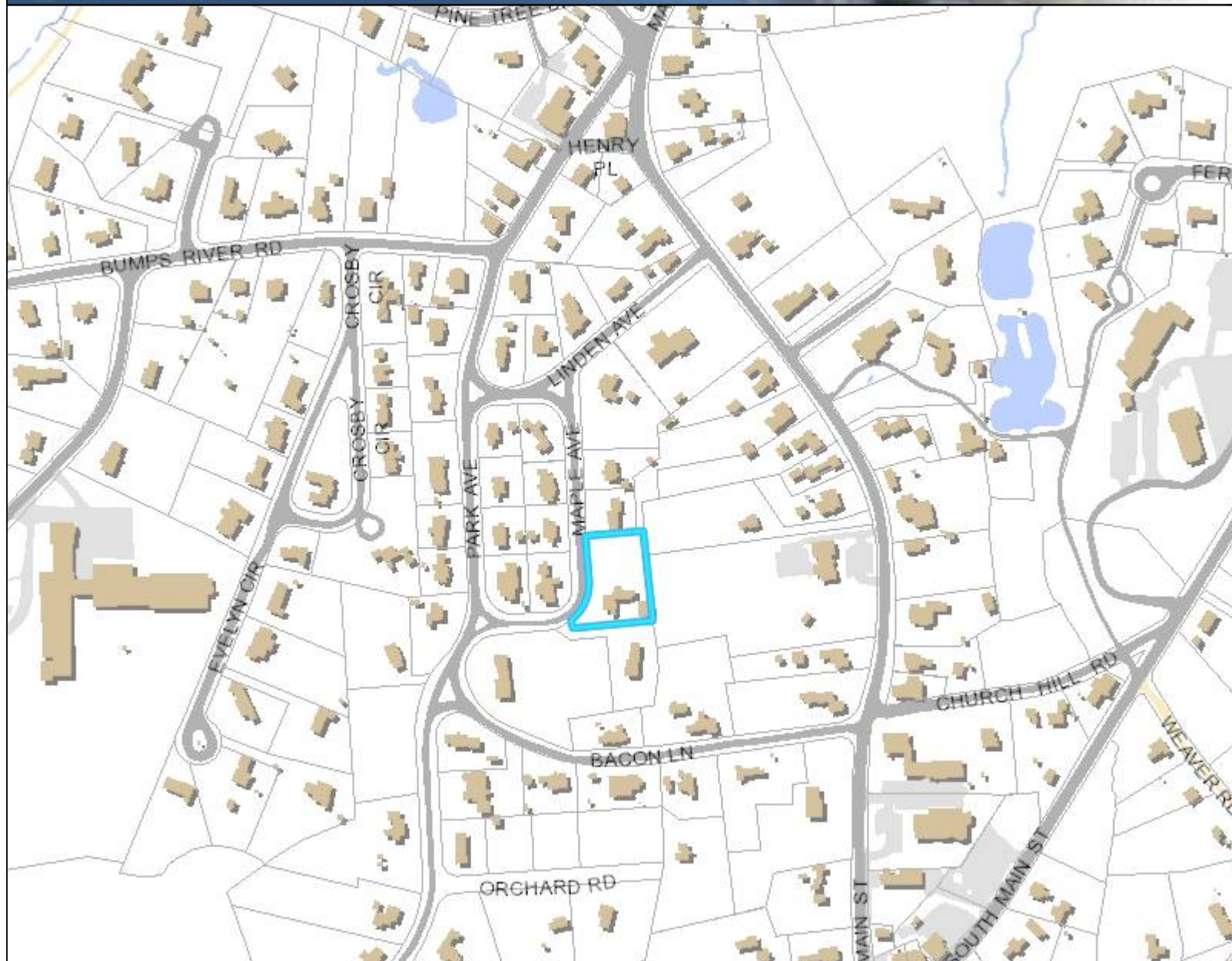
BHC NOI

24 Maple Ave
Centerville, Ma.
July 19, 2021

Project Narrative

Meagher Construction plans to demolish the existing residence at 24 Maple Ave in its entirety including the following, Foundation, Structure, porches, patio's, garage and existing septic system. 24 Maple street abutes only Maple Street.

The new Owner is appreciative of the land the house is on, but the house and garage have been neglected for many years and are in quite bad shape. A rehab of the existing structure would be at a considerable cost which would be close or exceed new construction. We formally request the demolition of the existing structures So new build can happen with attached architectural drawings and conceptual elevations by Nickolaeff Architects and site plan/location of new design by Sudbury Design Group.

**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies

Map printed on: 7/26/2021

0 333 667 Feet

Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Map printed on: 7/26/2021

0 42 83 Feet

Approx. Scale: 1 inch = 42 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

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Town of Barnstable GIS Unit

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us



Parcel
207-037

Location
24 MAPLE AVENUE

Village
Centerville

Town sewer account
No

CWMP Sewer Expansion (subject to change with final engineering design)
Phase 1 (0-10 years)


Developer lot:
LOTS B-1, 8 & 9

Road type
Town

Fire district
C-O-MM

Secondary road

Road index
0962

Interactive map


Asbuilt septic scan
[207037_1](#) , [207037_2](#)

▼_Owner: STILES, JANE E TR

Owner STILES, JANE E TR	Co-Owner JANE E STILES TRUST	Book page C224803/0
Street1 24 MAPLE AVENUE	Street2	
City CENTERVILLE	State Zip Country MA 02632	

▼_ Land

Acres 0.66	Use Single Fam M-01	Zoning RD-1	Neighborhood 0109
Topography Level	Street factor Paved	Town Zone of Contribution AP (Aquifer Protection Overlay District)	
Utilities Public Water,Gas,Septic	Location factor	State Zone of Contribution OUT	

▼_ Construction

▼_ Building 1 of 1

Year built
1936

Living area
3324

Gross area
3942

Style
Colonial

Model
Residential

Grade
Average Plus

Stories
2

Roof structure
Gambrel

Roof cover
Asph/F GlS/Cmp

Exterior wall
Vinyl Siding

Interior wall
Plastered

Interior floor
Pine/Soft Wood

Foundation

Heat type
Hot Water

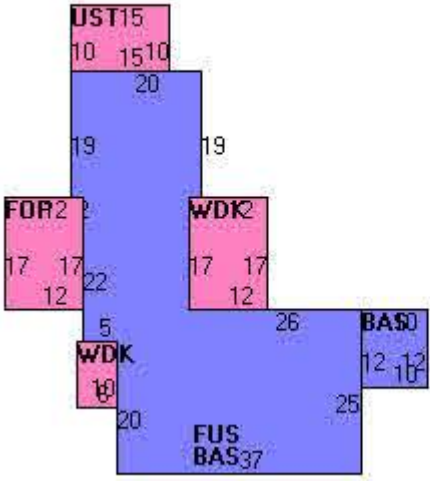
Heat fuel
Gas

AC type
None

Bedrooms
5 Bedrooms

Bath rooms
3 Full-0 Half

Total rooms
10 Rooms



▼_ Permit History

Issue Date	Purpose	Permit Number	Amount	InspectionDate	Comments
12/04/2019	Insulation	19-4070	\$6,794		weatherization
05/03/2002	New Roof	61079	\$7,500	10/15/2002	
10/28/1997	Addition	26606	\$4,000	03/24/1998	AD'N GAR

▼_ Sale History

Line	Sale Date	Owner	Book/Page	Sale Price
1	12/18/2020	STILES, JANE E TR	C224803/0	\$640,000
2	11/15/1993	CRABTREE, DOUGLAS R & MARJORIE M	C132033/0	\$185,000
3	06/15/1991	BROOKS, MARLA KAYE	C123557/0	\$205,000
4	01/15/1991	MANNAL, KAREN L TR	C122554/0	\$100
5	05/01/1978	MANNAL, RICHARD K & KAREN	C72010/0	\$0

▼

Assessment History

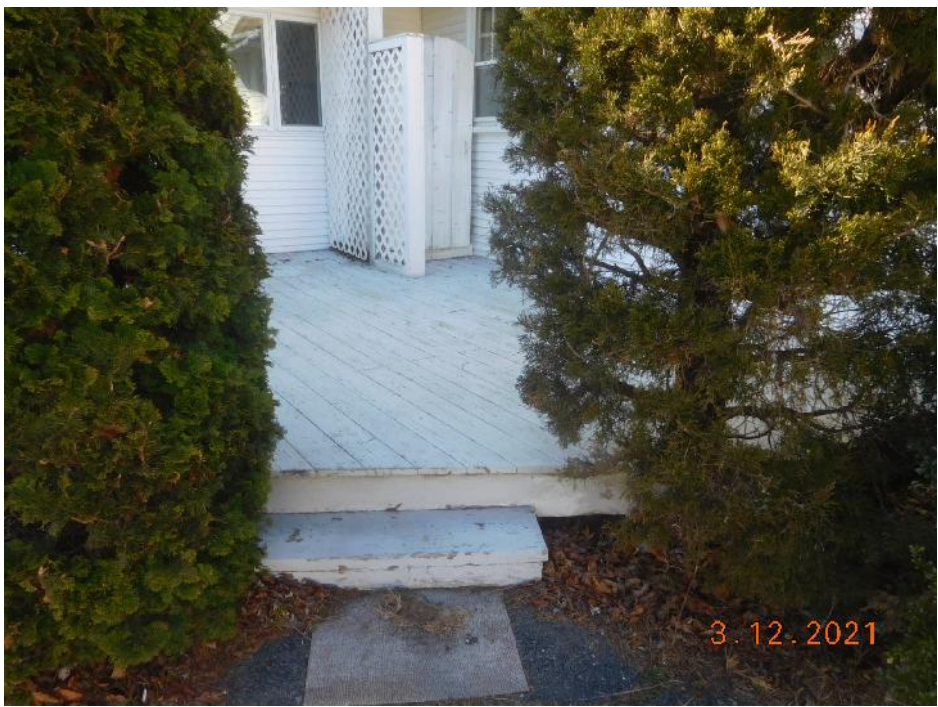
Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2021	\$305,800	\$15,800	\$6,700	\$260,400	\$588,700
2	2020	\$245,600	\$13,300	\$5,700	\$260,400	\$525,000
3	2019	\$245,600	\$13,300	\$6,500	\$271,700	\$537,100
4	2018	\$204,600	\$13,300	\$6,800	\$274,100	\$498,800
5	2017	\$196,500	\$12,800	\$6,900	\$274,100	\$490,300
6	2016	\$196,500	\$12,800	\$6,900	\$268,000	\$484,200
7	2015	\$234,300	\$14,700	\$9,000	\$271,400	\$529,400
8	2014	\$234,300	\$14,700	\$9,400	\$271,400	\$529,800
9	2013	\$234,300	\$14,700	\$9,900	\$271,400	\$530,300
10	2012	\$239,600	\$14,400	\$8,500	\$271,400	\$533,900
11	2011	\$261,800	\$6,600	\$5,600	\$271,400	\$545,400
12	2010	\$262,200	\$6,600	\$6,100	\$277,300	\$552,200
13	2009	\$288,400	\$4,800	\$4,100	\$268,700	\$566,000
14	2008	\$288,400	\$4,800	\$4,400	\$304,100	\$601,700
16	2007	\$288,400	\$4,800	\$4,400	\$304,100	\$601,700
17	2006	\$273,500	\$4,800	\$4,600	\$295,000	\$577,900
18	2005	\$230,400	\$4,500	\$5,200	\$271,700	\$511,800
19	2004	\$192,900	\$4,500	\$5,200	\$214,300	\$416,900
20	2003	\$163,600	\$4,500	\$5,200	\$124,500	\$297,800
21	2002	\$174,300	\$4,800	\$5,200	\$124,500	\$308,800
22	2001	\$174,300	\$5,100	\$5,200	\$124,500	\$309,100
23	2000	\$137,100	\$5,000	\$4,800	\$54,100	\$201,000
24	1999	\$137,100	\$4,700	\$4,000	\$54,100	\$199,900
25	1998	\$125,300	\$4,700	\$3,200	\$54,100	\$187,300
26	1997	\$124,400	\$0	\$0	\$49,900	\$175,900
27	1996	\$124,400	\$0	\$0	\$49,900	\$175,900
28	1995	\$124,400	\$0	\$0	\$49,900	\$175,900
29	1994	\$200,100	\$0	\$0	\$52,400	\$258,900
30	1993	\$200,100	\$0	\$0	\$52,400	\$258,900
31	1992	\$228,300	\$0	\$0	\$58,200	\$293,800
32	1991	\$244,200	\$0	\$0	\$83,200	\$338,900
33	1990	\$244,200	\$0	\$0	\$83,200	\$338,900
34	1989	\$244,200	\$0	\$0	\$83,200	\$338,900
35	1988	\$169,200	\$0	\$0	\$45,000	\$223,400
36	1987	\$169,200	\$0	\$0	\$45,000	\$223,400
37	1986	\$169,200	\$0	\$0	\$45,000	\$223,400

▼

Photos









VIEW FROM ROAD - FRONT
24 MAPLE ST.



FRONT



SIDE RIGHT FROM DRIVEWAY



SIDE RIGHT



BACK AND SIDE @ DRIVE



RIGHT SIDE BACK



BACKSIDE HOUSE



BACK LEFT



SIDE LEFT



SIDE LEFT TO FRONT



PORCH SIDE



GARAGE FRONT



GARAGE RIGHT





GARAGE LEFT

Historical Commission Abutter List for Subject Parcel 207037

All property owners within 300 feet of the subject property's boundaries

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
207020	CURRAN, SUE M TR	CURRAN MACARTHUR 2013 REALTY TRUST	69 BACON LANE		CENTERVILLE	MA	02632
207026	WRY, CHARLES A & RUTHANN		45 THOMPSON DR		SUDBURY	MA	01776
207027	QUEENEY, ELLEN L		129 PARK AVENUE		CENTERVILLE	MA	02632
207028	STANARD, MAURA TR	BUCKEYE REALTY TRUST	119 PARK AVENUE		CENTERVILLE	MA	02632
207029	HENNESSEY, DEBRA BACKUS		569 CURRIER ROAD		EAST FALMOUTH	MA	02536
207030	MINOT, MICHAEL J & JANICE F		ONE ORCHARD ST		ANDOVER	MA	01810
207031	CONWAY, GARY & LISA HALL, TRS	GALI TRUST	132 PARK AVENUE		CENTERVILLE	MA	02601
207032	KK MAPLE AVE LLC		871 WASHINGTON STREET		HANOVER	MA	02339
207033	BROWN, SCOTT A & CORI J		41 MAPLE AVE		CENTERVILLE	MA	02632
207034	KLOTZ, KATE E TR	KLOTZ FAMILY IRREVOCABLE TRUST	9800 CROMWELL DRIVE		EDEN PRAIRIE	MN	55347
207035	GALLAGHER, HUDSON H		52 MAPLE AVENUE		CENTERVILLE	MA	02632
207036	COSTELLO, PAUL A JR & KATHLEEN K TRS	COSTELLO FAM 2019 RLT DATED 01/23/2019	42 MAPLE AVENUE		CENTERVILLE	MA	02632
207037	STILES, JANE E TR	JANE E STILES TRUST	24 MAPLE AVENUE		CENTERVILLE	MA	02632
207039	ANTHONY, DAVID W & ELAINE M		56 BACON LN		CENTERVILLE	MA	02632

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
207040	MAHDAVI,REZA&DILLENSEGER, MARIEPIERRE TRS	REZA MAHDAVI&MP DILLENSEGER 2020 LIV TRS	38 BACON LANE		CENTERVILLE	MA	02632
207041	FAIR, GERALDINE K TR	558 MAIN STREET REALTY TRUST	3 FAIRWAY CIRCLE		NATICK	MA	01760
207042	SPROUL, JAMES A & MOLLY M		548 MAIN ST		CENTERVILLE	MA	02632
207043	BARNSTABLE, TOWN OF (REC)		367 MAIN STREET		HYANNIS	MA	02601
207044	FULLER, MARY ELLEN TR	MARY ELLEN FULLER TRUST	60 LINCOLN STREET		SEEKONK	MA	02771
207046	KERNS, JOHN J IV & NADINE		490 MAIN STREET		CENTERVILLE	MA	02632
207108	GIORDANA, LOUIS & JEANMARIE		48 STRONG PLACE		BROOKLYN	NY	11231
207143	CRONIN, JUSTIN C & LESLIE K		4535 VERONE STREET		BELLAIRE	TX	77401
207144	HORGAN, FRANCIS L JR & LINDA H TRS	HORGAN LIVING TRUST	180 PARK AVENUE		CENTERVILLE	MA	02632
207146	148 PARK AVE LLC		11 ELKINS STREET		SOUTH BOSTON	MA	02127
207148	MCELLIGOTT, KEVIN M & LINDA G		3660 EXECUTIVE DR		PALM HARBOR	FL	34685
208005	JACKSON, ROBERT F TR	JACKSON TRUST	105 PARK AVENUE		CENTERVILLE	MA	02632
208130	KASETA, STEVEN J & SHARON V TRS	%JACKSON, PAUL D & LERNER, LAURA	480 MAIN STREET		CENTERVILLE	MA	02632
208131	WELCH, RONALD & CATRINA		PO BOX 982		OSTERVILLE	MA	02655
208132	TECENO, FREDERICK SCOTT & DIANNE L		454 MAIN STREET		CENTERVILLE	MA	02632
208133	HENDERSON, ERNEST F III TR	ERNEST F HENDERSON III REV TRUST 01	PO BOX 420		SUDBURY	MA	01776

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
208134	MANCINI, PETER P & ZENDA M TRS	65 MAPLE AVENUE QPRT	4 ESSEX ROAD		BELMONT	MA	02478
208135	FITZGERALD, SEAN M & JONES, SANDRA L TRS	J & F REALTY TRUST	98 PARK AVENUE		CENTERVILLE	MA	02632



TOWN OF BARNSTABLE
Planning & Development Department
Barnstable Historical Commission
www.town.barnstable.ma.us/historicalcommission

Town Clerk Stamp

21 JUL '21 PM2:04
BARNSTABLE TOWN CLERK

NOTICE OF INTENT TO DEMOLISH A SIGNIFICANT BUILDING

Date of Application July 21, 2021 ☒ Full Demotion ☐ Partial Demolition
Building Address: 11 Marchant Ave. - Garage only
Number Street
Village Hyannis ZIP 02601 Assessor's Map # Assessor's Parcel # 286026
Property Owner: Jon Stein + Polina Khentov Name Phone#

Property Owner Mailing Address (if different than building address) 128 Kitchawan Road, Pound Ridge, NY 10576

Property Owner e-mail address: _____

Contractor/Agent: Kelly Connellan - Jill Neubauer Architects

Contractor/Agent Mailing Address: 15 Depot Ave. Falmouth MA 02540

Contractor/Agent Contact Name and Phone #: Kelly Connellan 617-784-4631
Name Phone #

Contractor/Agent Contact e-mail address: kconnellan@jnarchitects.com

Demolition Proposed - please itemize all changes:

Demolish existing garage
see attached letter

Type of New Construction Proposed: _____

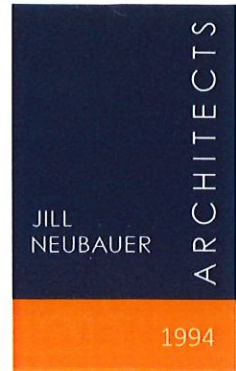
Provide information below to assist the Commission in making the required determination regarding the status of the Building in accordance with Article 1, § 112

Year built: 1797 Additions Year Built: 1929

Is the Building listed on the National Register of Historic Places or is the building located in a National Register District?
No ☐ Yes ☒

[Signature]
Property Owner/Agent Signature

Project: 11 Marchant Ave, Hyannis Port, "Homestead"
Date: 07.21.21
From: Jill Neubauer Architects
Re: Town of Barnstable Historical Commission,
Notice of Intent



The home at 11 Marchant Avenue was built in 1797. The home was renovated in 1929.

The proposed application is to re-build the existing 1-1/2 story garage and add a one-story pool house addition extending to the east.

From the attached photos one sees that the current garage as it stands lacks historic detail with the more modern updates. It is our intention to bring back historic architectural style and detail to the proposed re-build and addition.

The house was purchased in January of this year, and the owners are seeking permission to re-build the garage in a shifted location and expand the program to contain a pool house.

The enclosed plans and elevations include the existing garage and the proposed new structure. The existing building will be replaced in its entirety.

No changes are proposed to the house in this application.

Windows and Doors:

- All windows and doors on the garage and pool house to have muntins that will match the main house muntin patterns and sizes.

Paint Color:

- The windows, doors, and trim will be painted white
- White painted cedar shingle sidewall
- Red cedar roof

View from Dale Avenue:

- The massing of garage portion will be lengthened 13'-0"
- The building will shift 22'-0" towards the South property line
- The existing garage is pre-existing, non-conforming. The proposed building will not increase the non-conformity.
- Dormers on the West side will be changing from gable "dog house" dormers to shed dormers; shed dormers will be added on the East side and pool house
- The proposed garage top of ridge will be 3'-0" taller than existing.

15 DEPOT AVENUE
FALMOUTH MA 02540
508 548-0909

jna@jnarchitects.com
www.jnarchitects.com

Maldonado, Kaitlyn

From: Logan, Erin
Sent: Monday, August 9, 2021 8:53 AM
To: Maldonado, Kaitlyn; McPherson, Gloria
Subject: FW: 11 Marchant Ave. Hyannis Port - Garage application

Good morning – Please see below from Sarah Korjeff regarding the garage demo at 11 Marchant Ave, HP. This item is scheduled for the August BHC meeting.

From: Sarah Korjeff [mailto:skorjeff@capecodcommission.org]
Sent: Tuesday, August 3, 2021 12:49 PM
To: Logan, Erin; Kelly Connellan
Cc: Chloe Schaefer
Subject: Re: 11 Marchant Ave. Hyannis Port - Garage application

Erin and Kelly,

I have reviewed the materials submitted for the proposed work at 11 Marchant Ave in Hyannis Port and have the following comments for consideration by the Barnstable Historical Commission.

As you are aware, the David Scudder Homestead (circa 1797) is a contributing structure in the Hyannis Port National Register Historic District. The garage on this property is not referenced in either the historic inventory form or the National Register District Data Sheet, though other outbuildings in the district are acknowledged. From the information I have, it is unclear whether the existing garage incorporates any of the "barn" noted in the 1929 renovation plan or another older structure, or whether it is a more recent construction. Additional information from the applicant or a site visit may be able to confirm the building's age and historic significance. If the garage was converted from an historic outbuilding, it would be preferable to incorporate the structural frame and other significant materials into the new garage design.

The proposed new garage has a longer facade along Dale Avenue and is three feet taller at the ridge, but its scale is still smaller than the original homestead, and the rear ell of the garage is stepped down in height to break up the massing into smaller components. Because the garage is not listed as a contributing historic structure in the district and because the new design maintains a modest scale, I do not believe the proposed work constitutes a substantial alteration requiring DRI review.

At this time, no changes are proposed to the David Scudder Homestead, but if changes are proposed in the future, they will require review by the Historical Commission and additional information about the 1929 renovation work should be provided to help document the building's evolution.

Feel free to contact me if you have any questions.

Sincerely,
Sarah

Sarah Korjeff
Historic Preservation Specialist/Planner
Cape Cod Commission
3225 Main Street/P.O. Box 226
Barnstable, MA 02630

508-362-3828 (front desk)
508-744-1215 (direct)

From: Logan, Erin <Erin.Logan@town.barnstable.ma.us>
Sent: Thursday, July 22, 2021 4:07 PM
To: Sarah Korjeff <skorjeff@capecodcommission.org>; Kelly Connellan <kconnellan@jnarchitects.com>
Subject: RE: 11 Marchant Ave. Hyannis Port - Garage application

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Sarah,

This application is scheduled to be reviewed at the August 17th meeting.

Best regards,



Erin Logan
Administrative Assistant | Planning & Development
Town of Barnstable | 367 Main Street | Hyannis, MA 02601
erin.logan@town.barnstable.ma.us
P 508-862-4787

*We've moved! The Barnstable Historical Commission and Old King's Highway Historic District Committee offices have moved to Town Hall, 367 Main Street, 3rd Floor – Planning & Development Offices, Hyannis. Kindly see in-office hours below noting that **I am available via email and telephone Monday through Friday, 8:30am to 4:30pm!***

Old King's Highway & Barnstable Historical Commission Office Hours

Monday & Friday: 8:30am – 12:30pm

Tuesday & Thursday: 12:30pm to 4:30pm

From: Sarah Korjeff [mailto:skorjeff@capecodcommission.org]
Sent: Thursday, July 22, 2021 4:00 PM
To: Kelly Connellan
Cc: Logan, Erin
Subject: Re: 11 Marchant Ave. Hyannis Port - Garage application

Kelly,

Thank you for sending the plans for the proposed work at 11 Marchant Avenue in Hyannisport. I will review them and respond in an email to you and to Erin so the Historical Commission can consider with my advisory comments during their review.

When is your hearing before the Historical Commission? I want to be sure to send my comments before that date.

Take care,
Sarah

Sarah Korjeff
Historic Preservation Specialist/Planner
Cape Cod Commission
3225 Main Street/P.O. Box 226

Barnstable, MA 02630
508-362-3828 (front desk)
508-744-1215 (direct)

From: Kelly Connellan <kconnellan@jnarchitects.com>
Sent: Wednesday, July 21, 2021 3:29 PM
To: Sarah Korjeff <skorjeff@capecodcommission.org>
Cc: Logan, Erin <Erin.Logan@town.barnstable.ma.us>
Subject: 11 Marchant Ave. Hyannis Port - Garage application

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Sarah,

I spoke with Erin Logan at the Barnstable Historic Commission, and she advised that we send along our application for the Cape Cod Commission's preliminary review and approval.

Attached is the application and drawings for the proposed garage + pool house at 11 Marchant Ave.

Please let me know if you have any questions.

Thank you,

Kelly

P.S. My email was kicked back twice for being too big. Please excuse me if you received any duplicates.

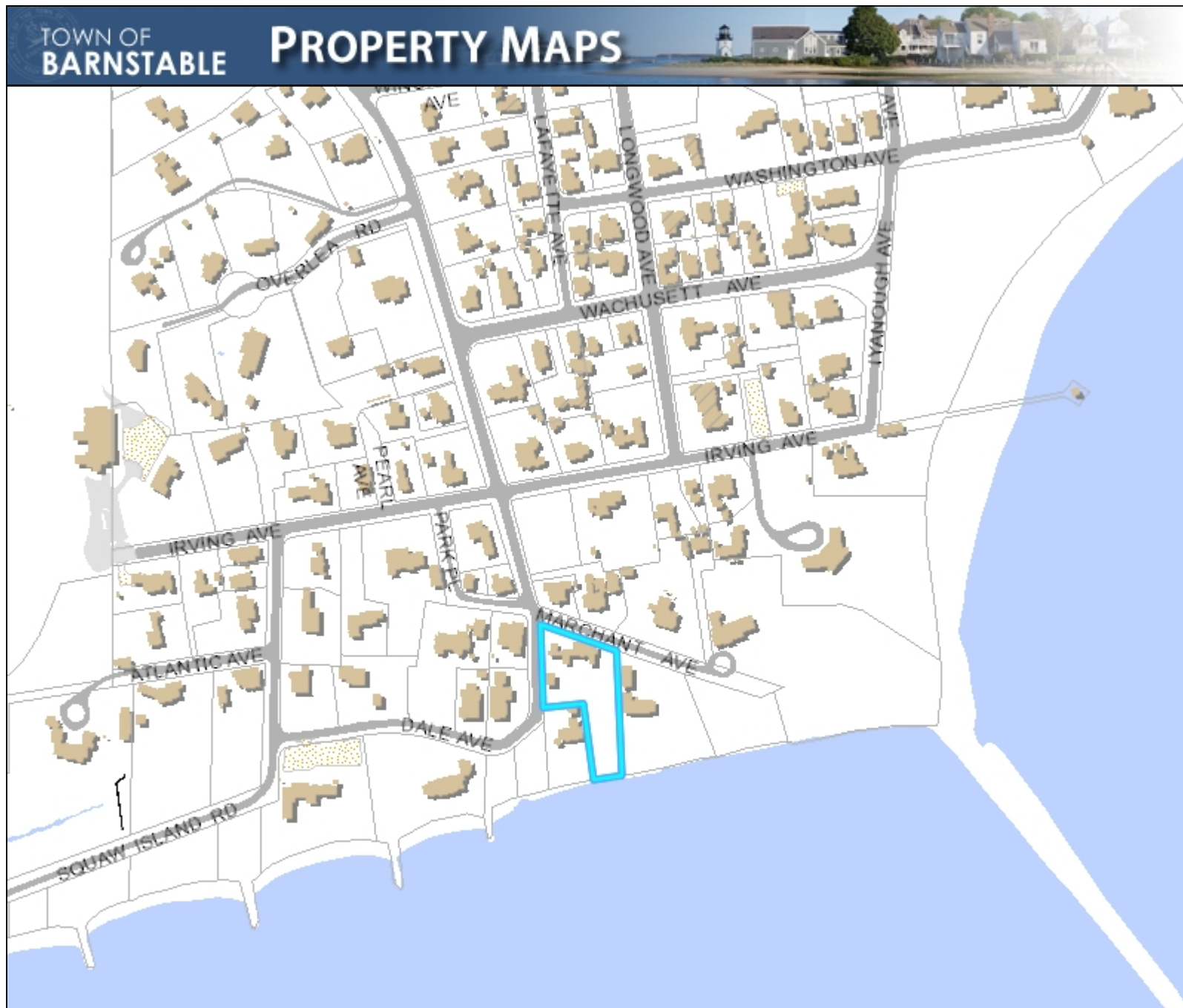
Kelly Ennis Connellan, AIA | Project Architect
Jill Neubauer Architects
15 Depot Avenue, Falmouth, MA 02540
o. 508.548.0909 | c. 617.784.4631 | jnarchitects.com



Named Best 2021 Coastal Architect by *Best of Boston Home*®

CAUTION: This email originated from outside of the Town of Barnstable! Do not click links, open attachments or reply, unless you recognize the sender's email address and know the content is safe!

CAUTION: This email originated from outside of the Town of Barnstable! Do not click links, open attachments or reply, unless you recognize the sender's email address and know the content is safe!

**Legend**

- Parcels
- Town Boundary
- + Railroad Tracks
- Buildings
 - Approx. Building
 - Buildings
- Parking Lots
 - Paved
 - Unpaved
- Roads
 - Paved Road
 - Unpaved Road
 - Bridge
 - Paved Median
- Water Bodies

Map printed on: 7/27/2021

0 333 667 Feet

Approx. Scale: 1 inch = 333 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.

**Town of Barnstable GIS Unit**

367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

Legend

Road Names



Map printed on: 7/27/2021

0 83 167 Feet

Approx. Scale: 1 inch = 83 feet



This map is for illustration purposes only. It is not adequate for legal boundary determination or regulatory interpretation. This map does not represent an on-the-ground survey. It may be generalized, may not reflect current conditions, and may contain cartographic errors or omissions.

Parcel lines shown on this map are only graphic representations of Assessor's tax parcels. They are not true property boundaries and do not represent accurate relationships to physical objects on the map such as building locations.



Town of Barnstable GIS Unit



367 Main Street, Hyannis, MA 02601

508-862-4624

gis@town.barnstable.ma.us

3	12/31/2012	BABCOCK, CHRISTOPHER H & STEIN, PAMELA T	C199290/0	\$0
Line	Sale Date	Owner	Book/Page	Sale Price
4	01/15/1982	HARDEN, DAVID E & BABCOCK, ANN H	C87915/0	\$0

Assessment History						
Save #	Year	Building Value	XF Value	OB Value	Land Value	Total Parcel Value
1	2021	\$447,000	\$44,400	\$40,200	\$3,893,300	\$4,424,900
2	2020	\$360,000	\$39,500	\$32,600	\$3,893,300	\$4,325,400
3	2019	\$360,000	\$39,500	\$33,600	\$3,303,400	\$3,736,500
4	2018	\$303,200	\$39,500	\$29,700	\$3,477,300	\$3,849,700
5	2017	\$291,100	\$40,200	\$28,000	\$3,477,300	\$3,836,600
6	2016	\$291,100	\$40,200	\$28,000	\$3,451,000	\$3,810,300
7	2015	\$343,300	\$43,200	\$36,300	\$3,447,700	\$3,870,500
8	2014	\$343,300	\$43,200	\$36,800	\$3,447,700	\$3,871,000
9	2013	\$340,200	\$45,200	\$31,400	\$3,447,700	\$3,864,500
10	2012	\$362,500	\$44,000	\$27,300	\$3,447,700	\$3,881,500
11	2011	\$416,600	\$8,800	\$20,300	\$3,447,700	\$3,893,400
12	2010	\$436,000	\$8,800	\$0	\$3,940,200	\$4,385,000
13	2009	\$703,000	\$6,100	\$0	\$5,631,900	\$6,341,000
14	2008	\$709,700	\$6,100	\$0	\$4,193,200	\$4,909,000
16	2007	\$760,300	\$6,100	\$0	\$4,193,200	\$4,959,600
17	2006	\$705,000	\$6,100	\$0	\$4,143,800	\$4,854,900
18	2005	\$596,800	\$5,700	\$0	\$4,143,700	\$4,746,200
19	2004	\$468,000	\$5,700	\$0	\$4,143,700	\$4,617,400
20	2003	\$531,300	\$5,700	\$0	\$1,737,000	\$2,274,000
21	2002	\$531,300	\$5,700	\$0	\$1,737,000	\$2,274,000
22	2001	\$531,300	\$6,000	\$0	\$1,737,000	\$2,274,300
23	2000	\$404,000	\$6,200	\$0	\$588,100	\$998,300
24	1999	\$404,000	\$6,200	\$0	\$588,200	\$998,400
25	1998	\$375,200	\$6,200	\$0	\$588,200	\$969,600
26	1997	\$401,900	\$0	\$0	\$587,600	\$989,500
27	1996	\$401,900	\$0	\$0	\$587,600	\$989,500
28	1995	\$401,900	\$0	\$0	\$587,600	\$989,500
29	1994	\$334,400	\$0	\$0	\$587,600	\$922,000
30	1993	\$334,400	\$0	\$0	\$587,600	\$922,000
31	1992	\$381,000	\$0	\$0	\$652,900	\$1,033,900
32	1991	\$426,200	\$0	\$0	\$652,900	\$1,079,100
33	1990	\$426,200	\$0	\$0	\$652,900	\$1,079,100
34	1989	\$426,200	\$0	\$0	\$652,900	\$1,079,100
35	1988	\$313,600	\$0	\$0	\$287,400	\$601,000
36	1987	\$313,600	\$0	\$0	\$287,400	\$601,000
37	1986	\$313,600	\$0	\$0	\$287,400	\$601,000

Photos	
	







MASSACHUSETTS HISTORICAL COMMISSION
294 Washington Street, Boston, MA 02108

Area
A

Form no.

21

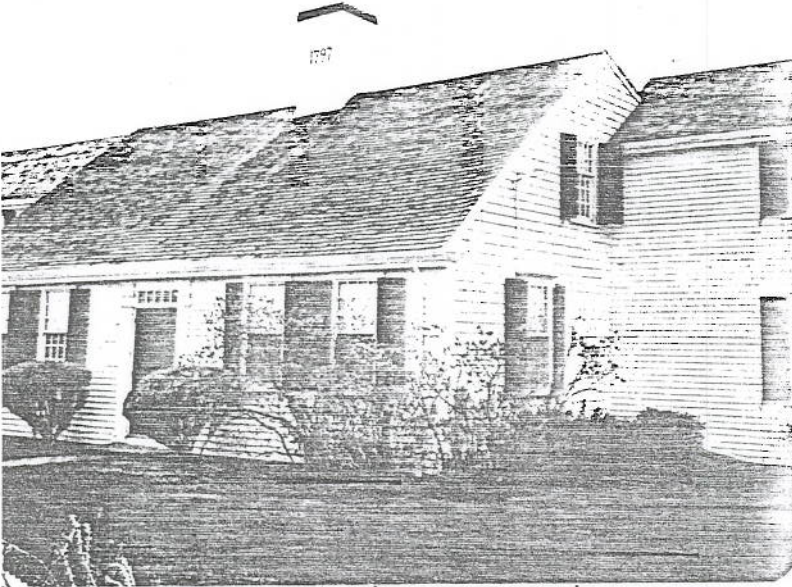
BRN. 557

286/026

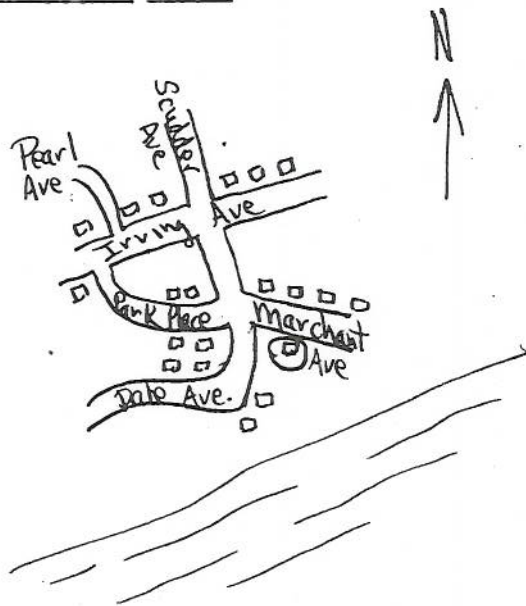
Town Barnstable (Hyannis Port)Address Marchant Ave., Hyannis PortHistoric Name David Scudder HomesteadUse: Original HomesteadPresent Residence

Ownership: ☒ Gladys L. Harden
☐ Private individual
☐ Private organization

Public

Original owner David & Desire Scudder

Draw map showing property's location in relation to nearest cross streets and other buildings or geographical features. Indicate north.



DESCRIPTION:

Date C.1797Source Deed, in Larry Newman's possessionStyle Georgian (Full Cape)

Architect

Exterior wall fabric wood clapboards

Outbuildings

Major alterations (with dates)

Moved Date

Approx. acreage .93aSetting Private residential areaRecorded by Laurie P. SnowdenOrganization Barnstable Historical CommissionDate June, 1981Contributing Nat'l Register

Photo #23-13-A21

(Staple additional sheets here)

ARCHITECTURAL SIGNIFICANCE (describe important architectural features and evaluate in terms of other buildings within community)

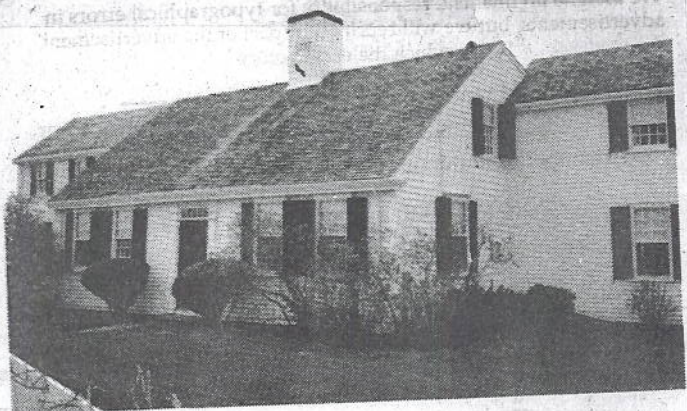
This home is an example of a Georgian full Cape. The windows are dropped down from the roof's edge which is indicative of the Georgian full Cape styling. The house has a large front doorway with a transom above with five lights all sided by pilasters. The windows are 12/12. The house has one large central chimney with four fireplaces. Two very large additions have been made to either side of the home. The exterior is wood clapboard. Inside the home there are many features to be noticed. In the original parlor wainscoting is present. The original wide floor boards measuring 16-18 inches are still present. The original doors and hardware are also present.

HISTORICAL SIGNIFICANCE (explain the role owners played in local or state history and how the building relates to the development of the community)

The dwelling that sits on the corner of Scudder and Marchant Aves. is no longer the active homestead that it was in the late 1790's. This home became known as the "Scudder Homestead", being the last home that David and Desire Scudder built. David Scudder, the son of Eleazer and Mary Lewis Scudder, was born in 1763. Desire Gage Scudder was born in 1767. Desire and David Scudder had seven sons and three daughters: Charles and Horace who left the Cape in 1789 to become hardware merchants and civic leaders in Boston; Alex who was a world traveling sea captain; William the youngest son and a promising prodigy who strayed from the yard and drowned, his body, returned from the tide, was found near Seal Rock; Elisha who moved to Boston early in life and remained there; Lucinda called "Angel on Earth", was widowed before she was 21 and never remarried; Julia, also a widow early in life (her husband William Crocker, was lost at sea at the age of 24 in the Mediera Islands); Abigail who married Freeman Marchant, who operated large salt works with David Scudder; Frederick, the County Treasurer and Registrar of Deeds; David Jr., who remained a bachelor and died in early adulthood. Upon David Scudder's death, his widow kept the estate up until she sold the homestead to her son Frederick.

BIBLIOGRAPHY and/or REFERENCES

Registry of Deeds-Barnstable County
Barnstable County Atlas 1858, 1880, 1907
Deyo, Simeon, History of Barnstable County, Massachusetts, 1890.
Otis, Amos, Genealogical Notes of Barnstable Families, 1888.
Trayser, Donald G., Barnstable-Three Centuries of a Cape Cod Town, 1939.
The Seven Villages of Barnstable, 1976.



SCUDDER HOMESTEAD--Built in 1797, the full Cape Georgian style dwelling on Marchant Avenue, Hyannis Port was the last home built by David and Desire Scudder and became known as the Scudder Homestead.

Historic Homes of Barnstable

The Scudder Homestead on the corner of Marchant and Scudder Avenues in Hyannis Port must have been a full house over the years when David and Desire Gage Scudder were raising their seven sons and three daughters.

Sons Charles and Horace left the Cape in 1789 to become hardware merchants and civic leaders in Boston. Another son, Alex, became a sea captain, and Elisha moved to Boston at an early age. Their youngest son, William, a promising prodigy, strayed from the yard and drowned. His body, returned home from the tide, was found near Seal Rock. Frederick would grow up to become the county treasurer and register of deeds, and son David Jr., who remained a bachelor, died in his early manhood.

Of their daughters, Lucinda was widowed before she was 21 and never remarried. It was she who was called "Angel on Earth." Julia's husband, William Crocker, was lost at sea when only 24 in the Madeira Islands, leaving her a young widow as well. Abigail married Freeman Marchant, who operated a large salt works with David Scudder.

Following the death of her husband, Desire Scudder maintained the estate until she sold the homestead to her son Frederick.

Of the house itself, its large central chimney accommodated four fireplaces and the front doorway is topped by a five-light transom sided by pilasters. Two extensive additions have been made to either side of the original dwelling which boasts the original parlor wainscoting, floor boards measuring 16-18 inches and original doors and hardware to this day.

Photo and information courtesy of
Barnstable Historical Commission



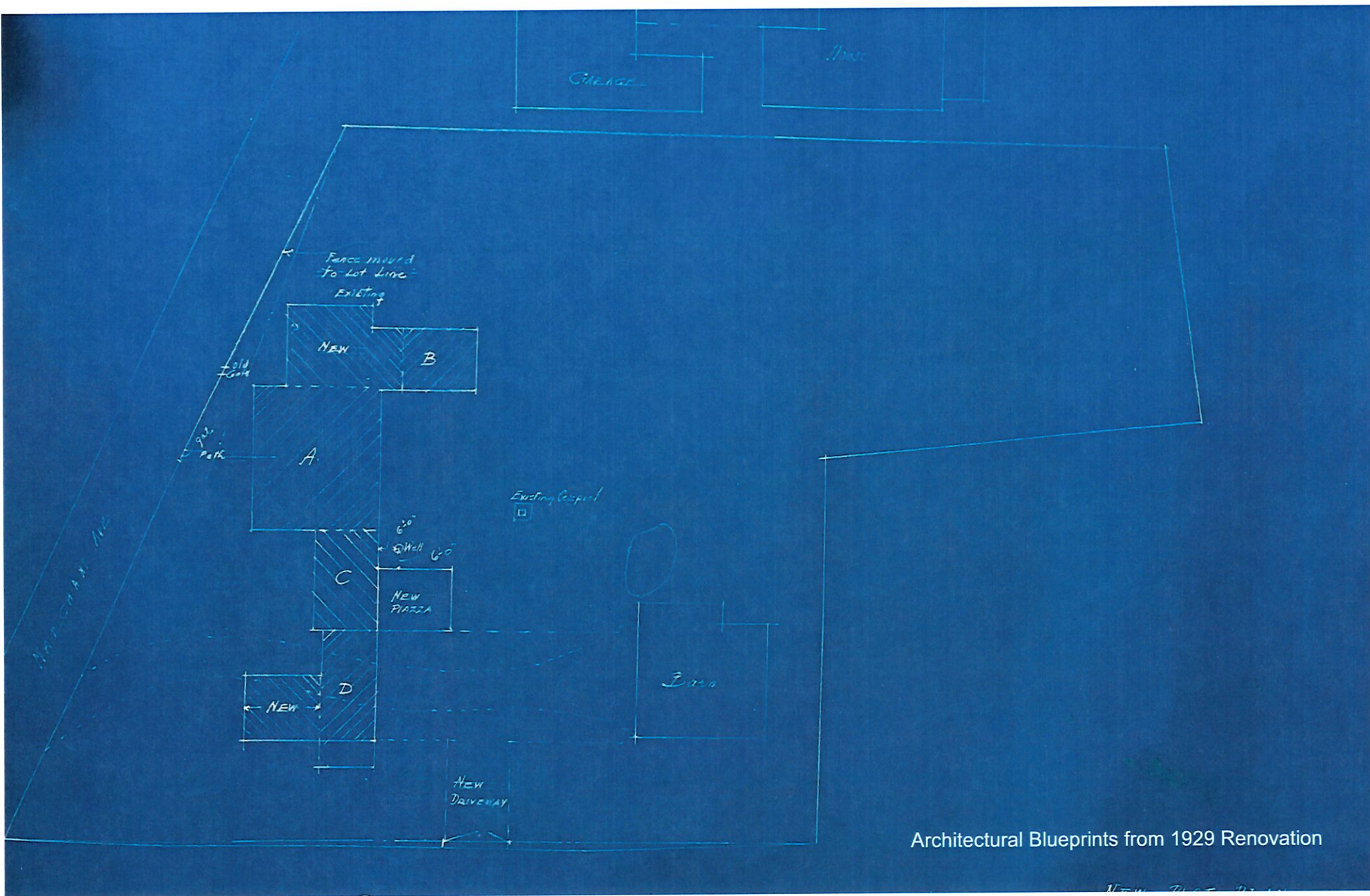
11 Marchant Ave Bird's Eye (Existing)



11 Marchant Ave Northwest View from Dale Ave.
(Existing)



11 Marchant Ave Southwest View from Dale Ave.
(Existing)



Architectural Blueprints from 1929 Renovation

PLAN OF LAND IN BARNSTABLE

Nelson Bearse Surveyor.

NOVEMBER 1929

13920A

PARK PLACE

SCUDDER AVE.

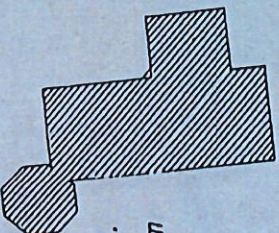
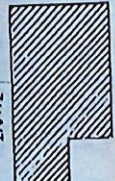
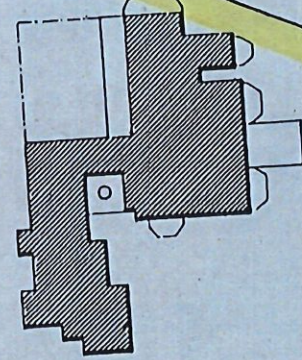
DALE AVE.

MARCHANT AVE.

L.C. No. 13702.

L.C. No. 12948.

DALE AVE.



Charlotte S. Dillingham

Rockwell C. Tenney et al.

L.C. No. 14120.

L.C. No. 12948.

11 Marchant Ave. Survey
1929

Copy of part of plan
filed in
LAND REGISTRATION OFFICE
DEC. 9, 1929.

ANTUCKET SOUND

High Water Mark

Low Water Mark



N. 12° 59' 55" E.

N. 10° 12' 55" E.

S. 76° 32' 05" E.

N. 6° 42' 55" E.

S. 57° 37' 05" E.

S. 54° 37' 05" E.

S. 10° 03' 55" E.

140.93

198.15

51.22

38.00

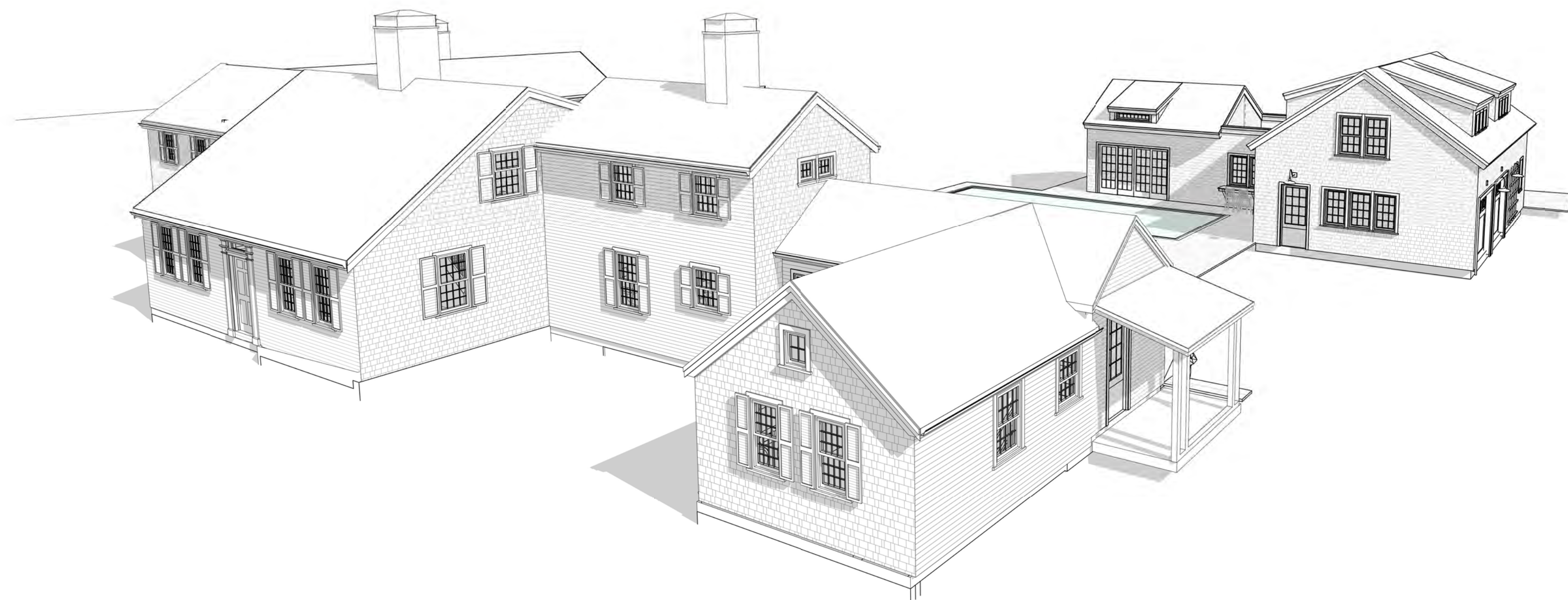
93.80

168±

270±

210.12

192.86



PROJECT INFORMATION

OWNER: Polina Khentov and Jon Stein

PROJECT ADDRESS: 11 Marchant Ave
Hyannis Port, MA

ARCHITECT: Jill Neubauer Architects
15 Depot Avenue
Falmouth, MA 02540
508.548.0909

LANDSCAPE ARCHITECT: Bernice Wahler Landscapes
3 Clement St.
Sandwich, MA 02563
774.269.5429

CONTRACTOR: EB Norris
138 Osterville / W. Barnstable Road
Osterville, MA 02655
508.428.1165

STRUCTURAL ENGINEER: Coastal Engineering
88-MA-6A
Sanwich, MA 02563
508.255.6511

SITE ENGINEER: Sullivan Engineering
711 Main Street
Osterville, MA 02655
508.428.3344

DRAWING INDEX

#	SHEET NAME	Current Revision Date
GENERAL		
000	COVER SHEET	07.21.21
CIVIL		
C100	SURVEY	07.21.21
LANDSCAPE		
000.1	LANDSCAPE PLAN	07.21.21
ARCHITECTURAL		
A000-G	EXISTING vs. PROPOSED SITE PLAN	07.21.21
A001-G	3D VIEWS FROM DALE AVE	07.21.21
A002-G	3D VIEWS FROM BACKYARD (NE + SE)	07.21.21
A100-G	GARAGE FLOOR PLANS	07.21.21
A200-G	GARAGE ELEVATIONS	07.21.21
A201-G	GARAGE ELEVATIONS	07.21.21

VICINITY MAP



DIRECTIONS:
From Hyannis — Follow Main Street to the West
End Rotary, Take third exit onto Scudder Ave.
Follow and turn left onto Marchants Ave. #11 is
on the right.



LOCATION MAP:

Scale: 1" = 2000'±

ASSESSORS REF.:

Map 286, Parcels 026

ZONE:

RF-1
Area (min.) 43,560 SF
Frontage (min) 20'
Width (min) 125'
Setbacks:
Front 30'
Side 15'
Rear 15'

OVERLAY DISTRICT:

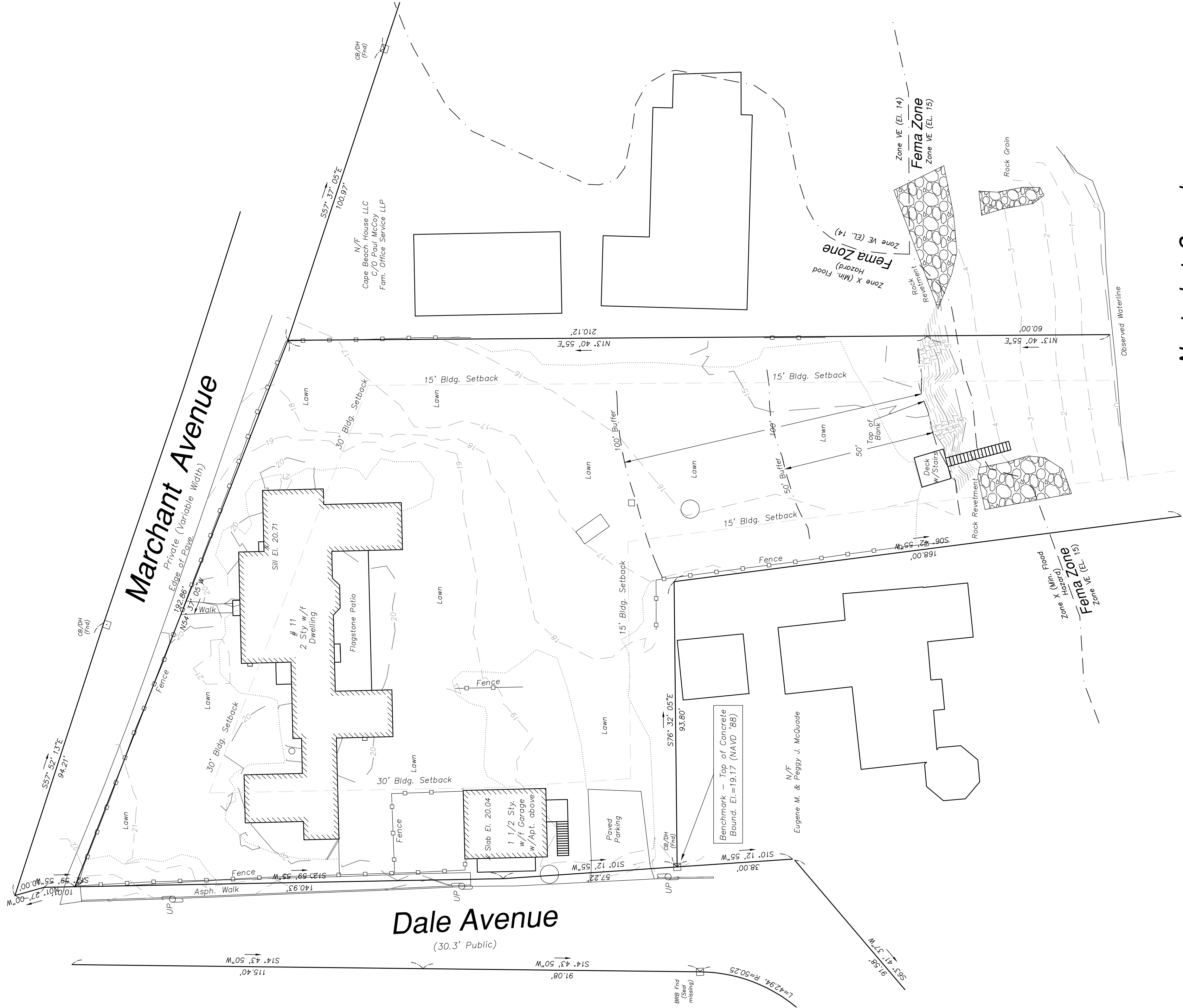
AP – Aquifer Protection District

FLOOD ZONE:

Zones AE (Elev. 15') X
(Minimal Flood Hazard)
Community
Adopted July 16, 2014

REFERENCES:

Land Court Cert. 199,920
LOP 13920 A



LEGEND:

- CDT Cedar Tree
- HT Holly Tree
- DT Deciduous Tree
- CT Coniferous Tree
- Utility Pole
- Electric
- Gas
- Wetland Flag
- Light Post
- CE/DH
- Overhead Wires
- 25' Elevation Contour

TITLE:

Site Plan
Existing Conditions
At
11 Marchant Avenue
Barnstable (Hyannis Port) Mass.

DATE: February 3, 2021 SCALE: 1" = 20'

PREPARED BY:

Sullivan Engineering & Consulting, Inc.

Draft: ASL/CTR Field: CTR/WHK

Review: JOD/CTR Comp./Review: CTR/JOD/ASL

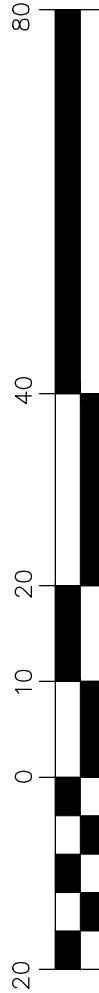
Project: Stein Project#: 4100001

PREPARED FOR:

Babcock Cape Cod Trust
C/O Jonathan Stein

NOTES:

- 1) The property line information shown was compiled from available record information.
- 2) The topographic information was obtained from an on the ground survey performed on or between 1/21/2021 and 1/29/2021 using GPS RTK.
- 3) The datum used is NAVD '88, a fixed mean sea level datum.
- 4) Abutting structures are from Town G.I.S., locations and dimensions are approximate only.





15 DEPOT AVENUE
FALMOUTH, MA 02540
508 548-0909
na@jnarchitects.com
jnarchitects.com

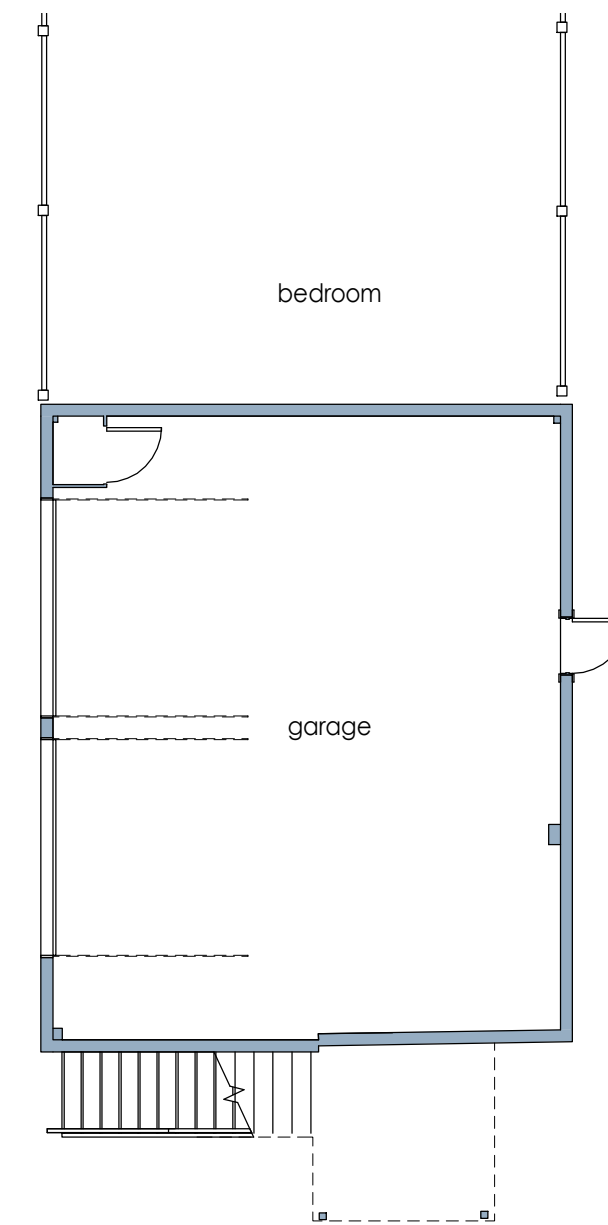
THE HOMESTEAD
11 MARCHANT AVE
HYANNISPORT, MA

07/19/21	HDC Application

PROPOSED SITE PLAN

$$1/8'' = 1'-0''$$

A000.1

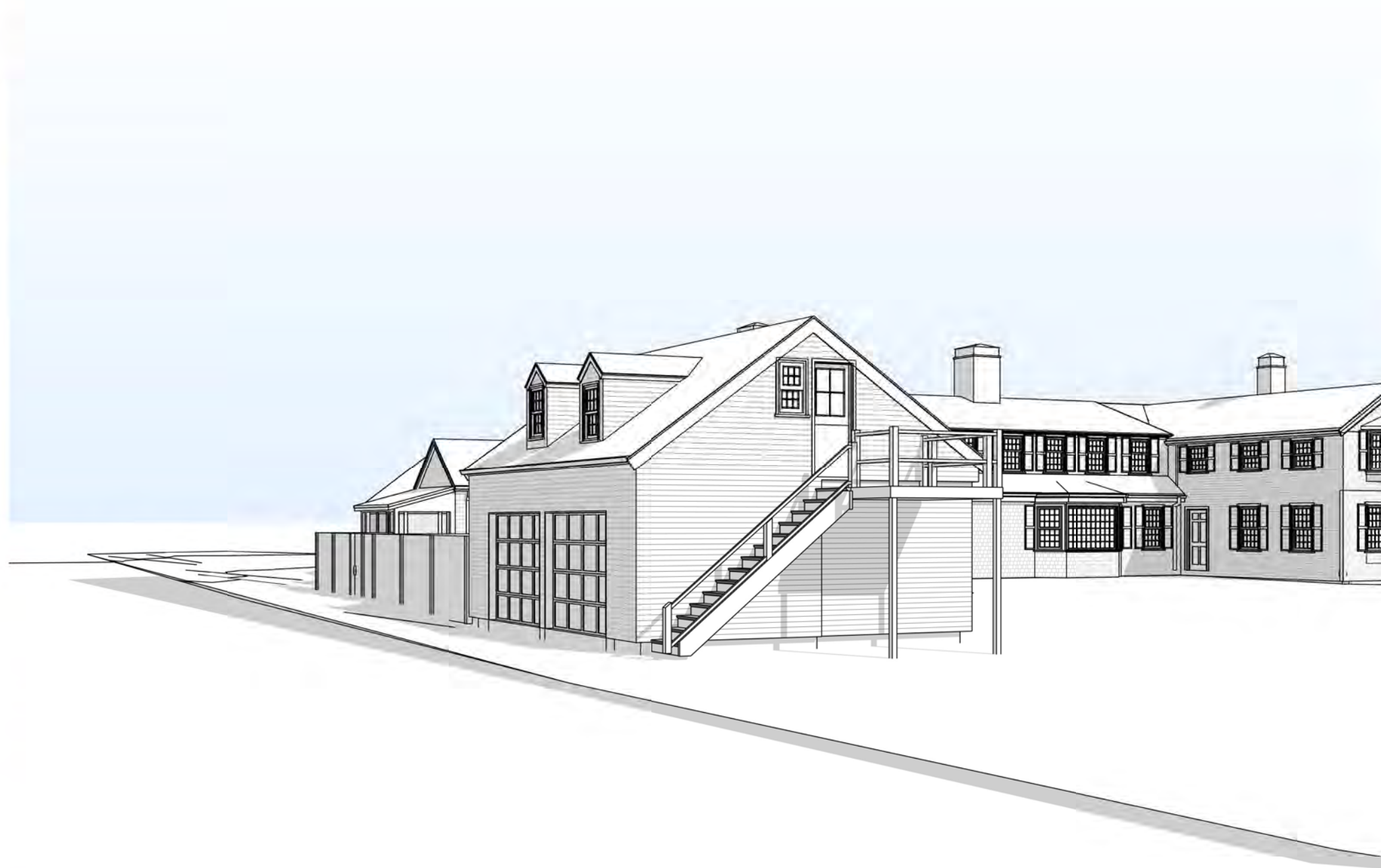




① Northwest View from Dale Ave (Existing)



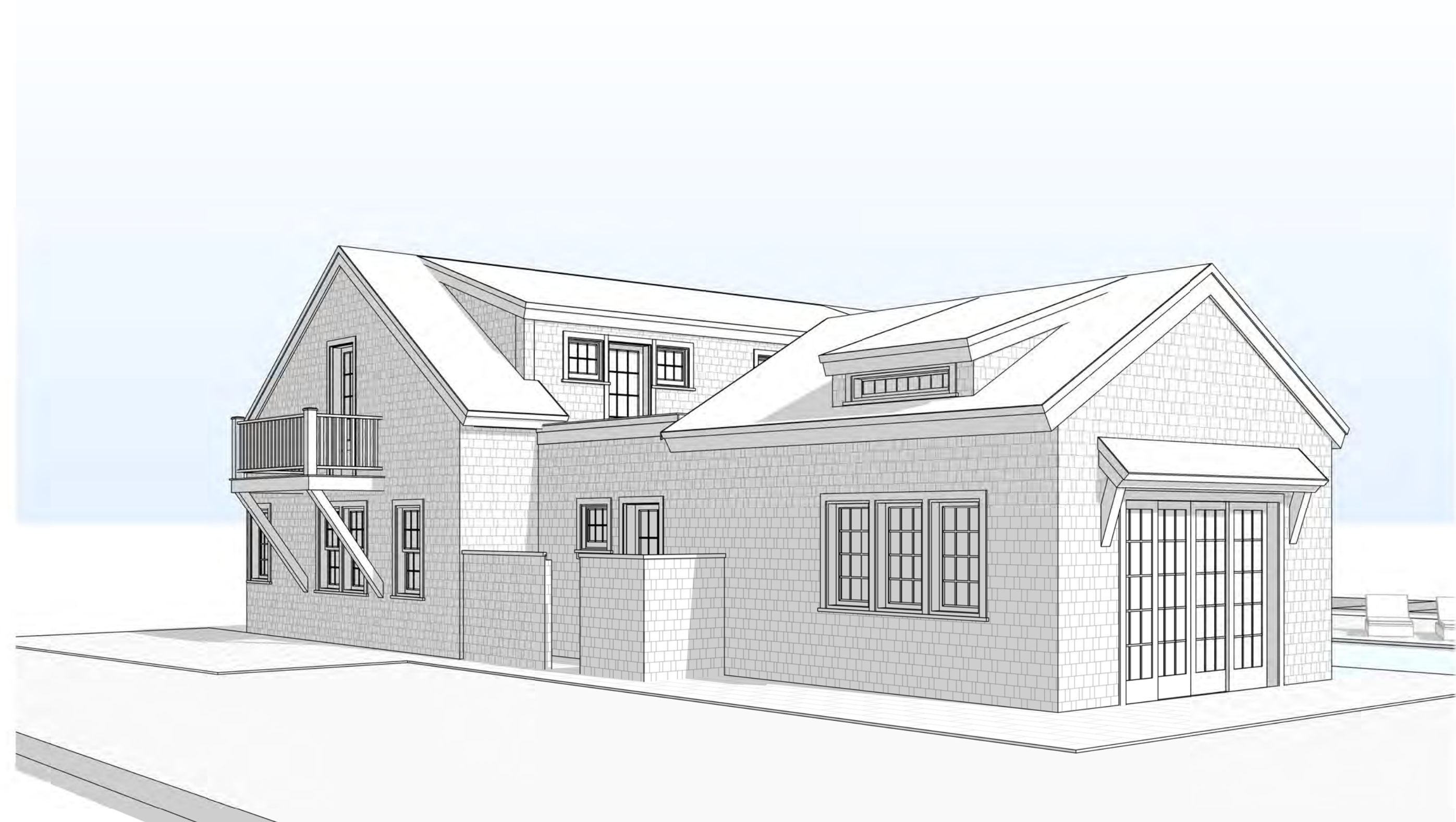
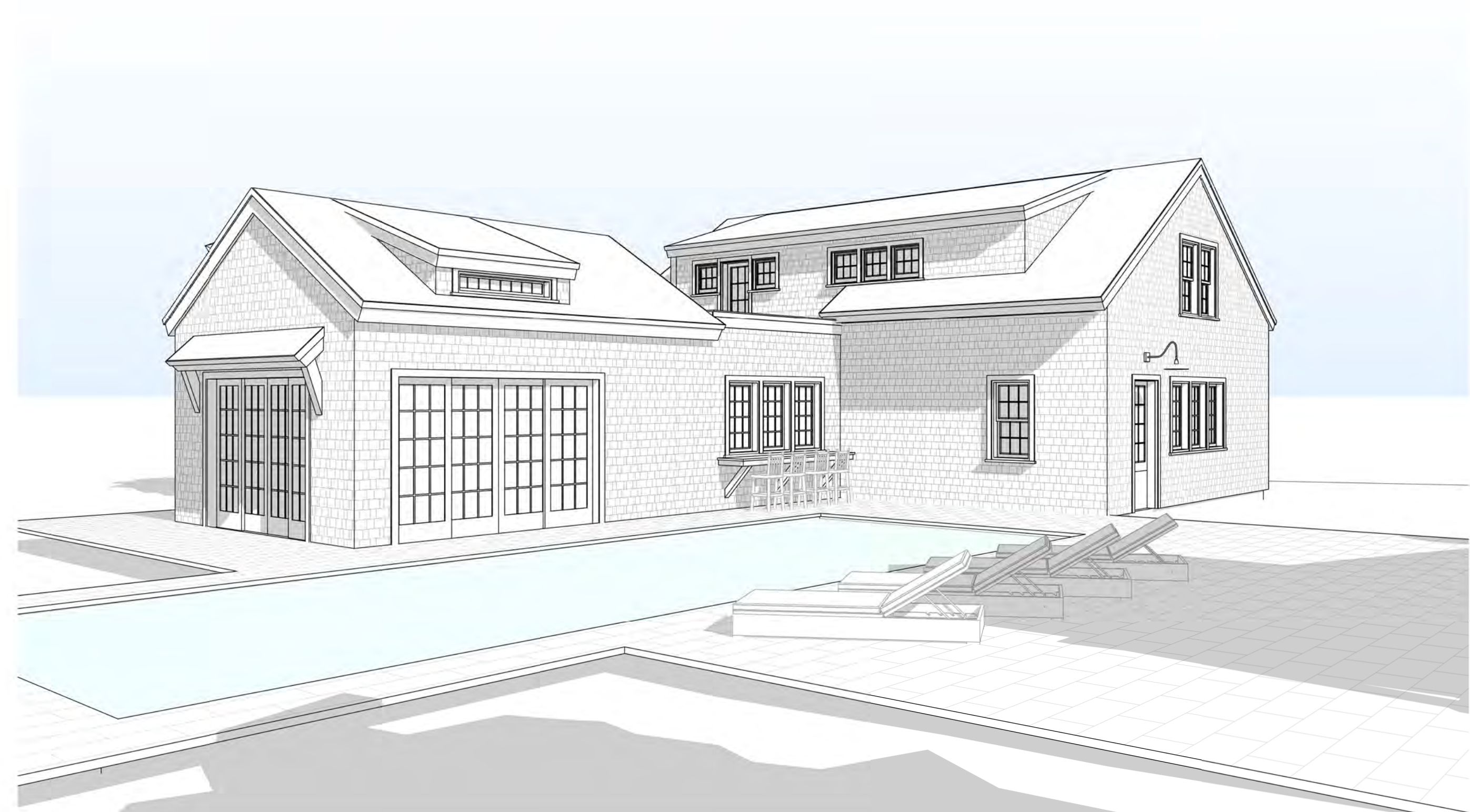
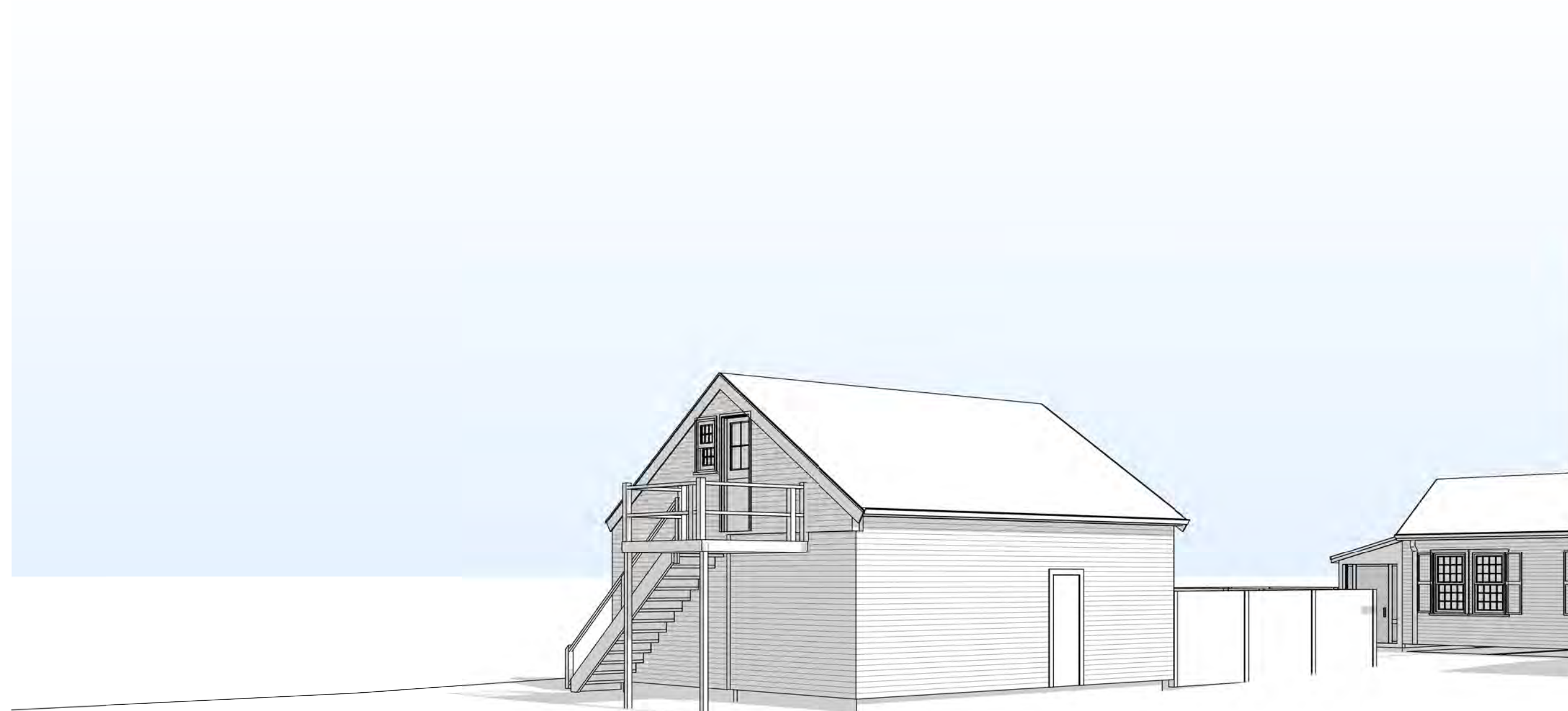
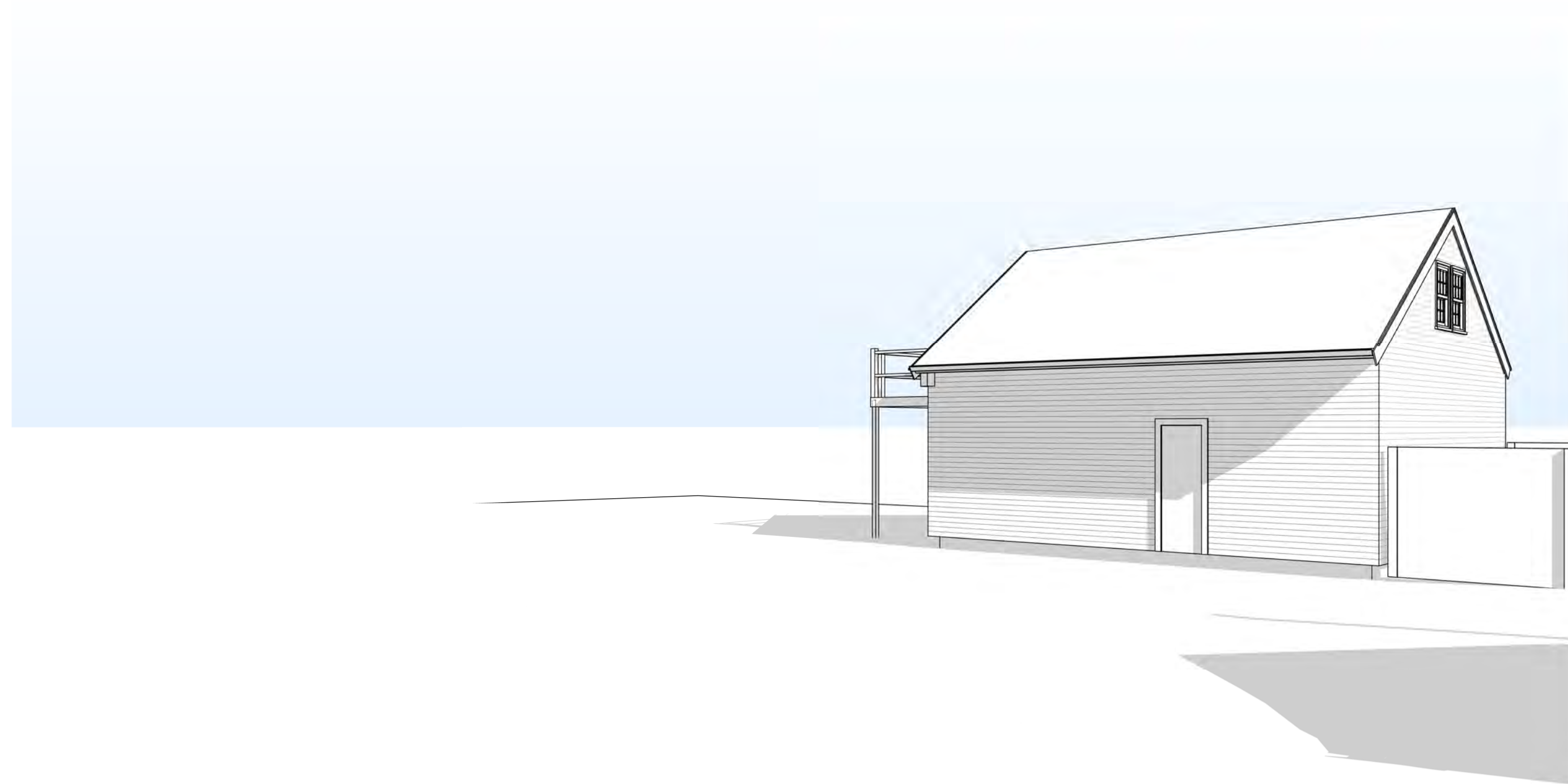
② Northwest View from Dale Ave (Proposed)

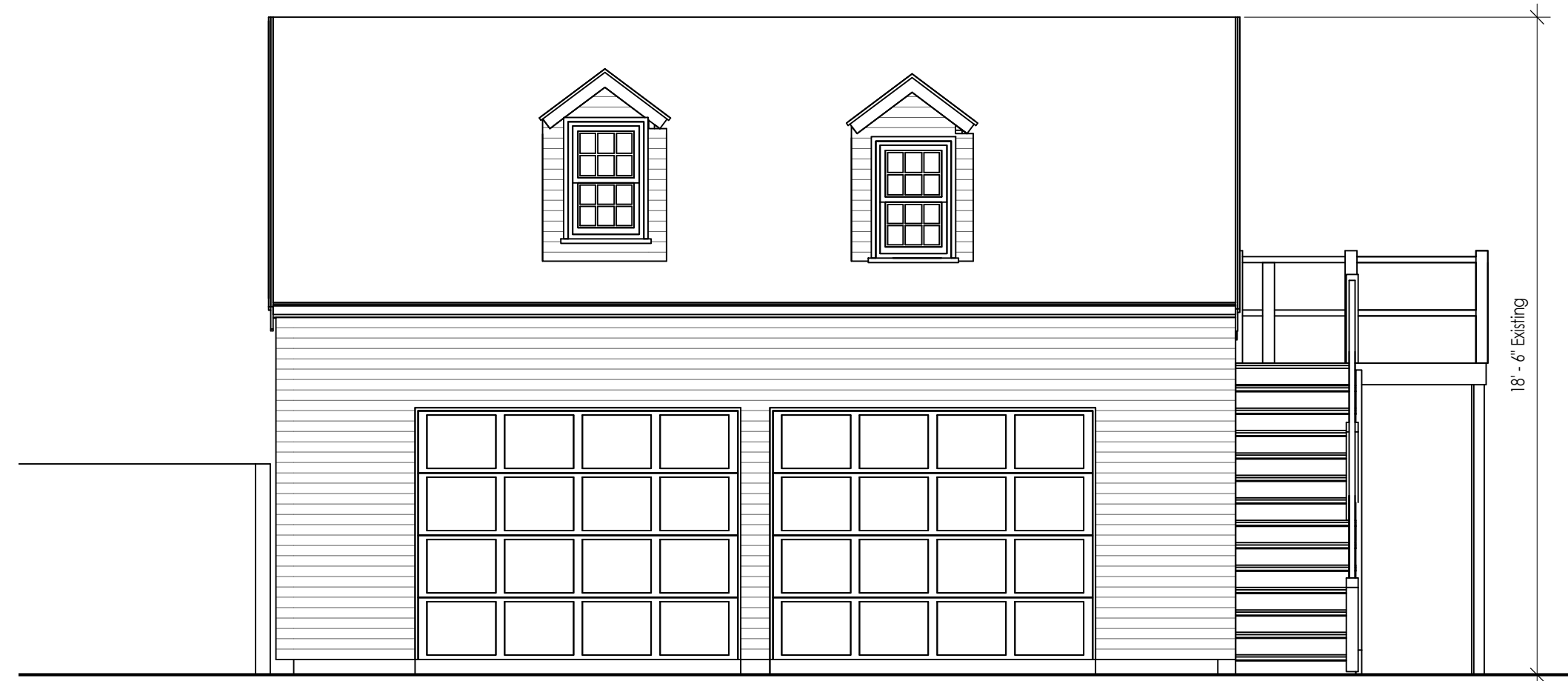


③ Southwest View from Dale Ave (Existing)



④ Southwest View from Dale Ave (Proposed)





① Garage - West Elevation (Existing)
1/4" = 1'-0"



② Pool House + Garage - West Elevation
(Proposed)
1/4" = 1'-0"



③ Garage - North Elevation (Existing)
1/4" = 1'-0"



④ Pool House + Garage - North Elevation
(Proposed)
1/4" = 1'-0"



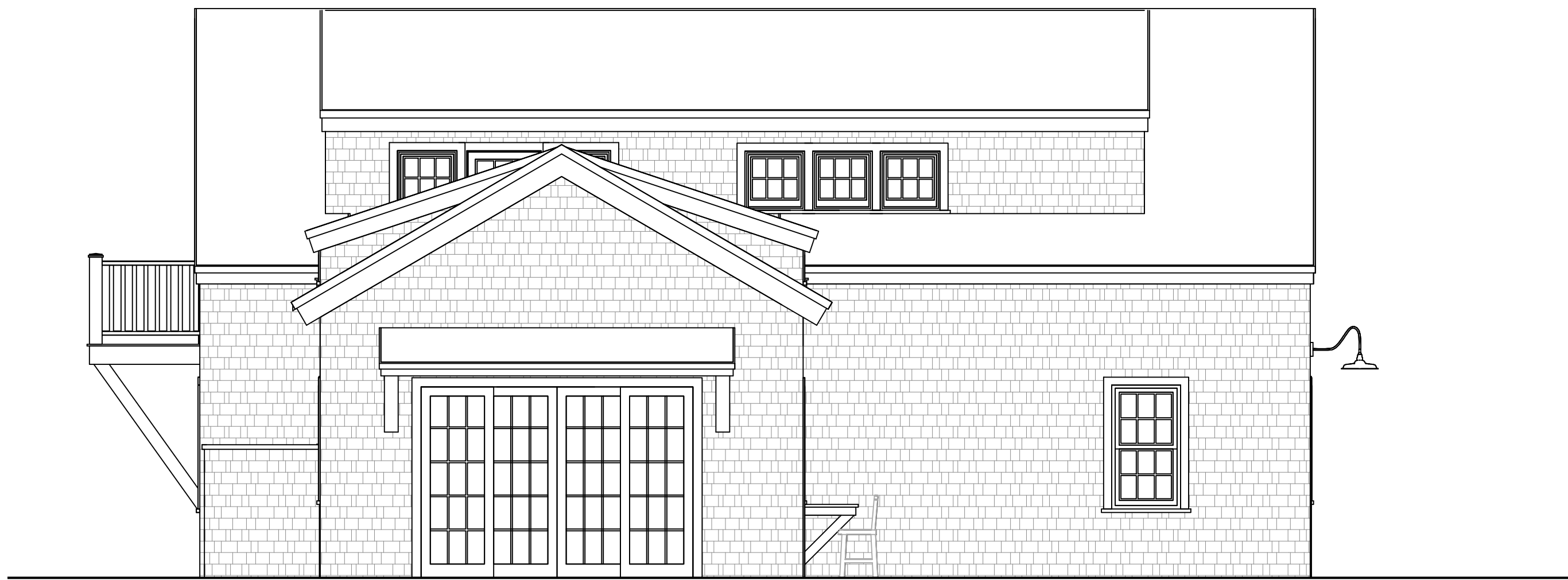
① Garage - South Elevation (Existing)
1/4" = 1'-0"



② Pool House + Garage - South Elevation
(Proposed)
1/4" = 1'-0"



③ Garage - East Elevation (Existing)
1/4" = 1'-0"



④ Pool House + Garage - East Elevation
(Proposed)
1/4" = 1'-0"

Historical Commission Abutter List for Subject Parcel 286026

All property owners within 300 feet of the subject property's boundaries

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
286009	22 DALE AVENUE HYANNIS PORT LLC		10 INGERSOLL ROAD		WELLESLEY	MA	02481
286010	LLOYD, TANGLEY CAMPBELL		P O BOX 336		HYANNISPORT	MA	02647
286011	SHAY, JAMES P & MONICA A		9A WYNDEMERE DR		SOUTHBOROUGH	MA	01772
286012	DUANE, JON R & FRIEDMAN, CATHERINE J TRS	DALE AVENUE REALTY TRUST	149 SELBY LANE		ATHERTON	CA	94027
286013	ERBE, HENRY H III		33 PARK PLACE	P O BOX 218	HYANNISPORT	MA	02647
286014	NIEHOFF, KELLY B & KARL R B TRS	LUCINDA SHAEFFER WALKER Q.P.R.T.	PO BOX 507		HYANNIS PORT	MA	02647
286017	WINTON, PATRICIA R & SAWMILL TRUST CO TRS	PATRICIA R WINTON LIVING TRUST	92 PRINCE STREET		WEST NEWTOWN	MA	02465
286018	BREA, CESAR & LEONARD, CARMEL ANNE		53 DEPOT STREET		WESTFORD	MA	01886
286019	GARTHWAITE, ANDREW ALEXANDER		320 SOUTH BEACH ROAD		HOBE SOUND	FL	33455
286020	DESAI, AMIT R & GITIKA MARATHAY		31 MILFORD STREET		BOSTON	MA	02118
286021	EVANS, DAVID C & TUTEN, MARGARET E	C/O MARGARET TUTEN	128 ASHWOOD RD		VILLANOVA	PA	19085
286022	KIDDER, STEPHEN W & ELEFANTE, MARK B TRS	MARCHANT AVENUE REALTY TRUST	C/O HEMENWAY & BARNES	75 STATE ST 16TH FLOOR	BOSTON	MA	02109-1899

Parcel ID	Owner 1	Owner 2	Address Line 1	Address Line 2	City	State	Zip
286023	EDWARD M KENNEDY INST US SENATE, INC		210 WILLIAM T MORRISSEY BLVD		BOSTON	MA	02125
286023001	FORD, MICHAEL D TR	MARCHANT AVENUE GARAGE QRTS TRUST	C/O VERDOLINO AND LOWEY	SUITE 101	FOXBORO	MA	02035
286024	EDWARD M KENNEDY INST US SENATE INC		210 WILLIAM T MORRISSEY BLVD		BOSTON	MA	02125
286025	CAPE BEACH HOUSE LLC	C/O PAUL/MCCOY FAM OFFICE SERV LLP	31 ST JAMES AVE, STE 740		BOSTON	MA	02116
286026	BABCOCK, CHRISTOPHER H&STEIN, PAMELA TRS	%BABCOCK HOLDINGS LLC	11 MARCHANT AVENUE		HYANNIS PORT	MA	02647
286027	MCQUADE, EUGENE M & PEGGY J		50 DOWNING STREET		EAST GREENWICH	RI	02818
286028	ERBE, HENRY H III		33 PARK PLACE	P O BOX 218	HYANNISPORT	MA	02647
286029	DUANE, JON R & FRIEDMAN, CATHERINE J TRS	DALE AVENUE REALTY TRUST	149 SELBY LANE		ATHERTON	CA	94027
286030	MSSI 31 DALE AVE PROPERTY GROUP LLC	C/O NICOLE J HUESMAN, PA	150 ALHAMBRA CIRCLE SUITE 1150		CORAL GABLES	FL	33134
287065	FORD, MICHAEL D TR	IRVING AVE NOMINEE TRUST II	C/O PARK AGENCY, INC	330 MADISON AVE - SUITE 280	NEW YORK	NY	10017
287065001	FORD, MICHAEL D TR	IRVING AVE NOMINEE TRUST II	C/O PARK AGENCY, INC	330 MADISON AVE - SUITE 280	NEW YORK	NY	10017
287066001	MILLS, CHARLES N TR	131 IRVING AVENUE TRUST	405 SHERIDAN ROAD		HIGHLAND PARK	IL	60035

Maldonado, Kaitlyn

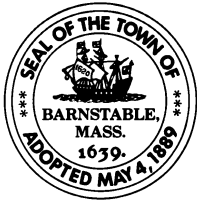
From: Carter, Jeff
Sent: Wednesday, August 4, 2021 2:42 PM
To: Maldonado, Kaitlyn
Cc: Florence, Brian
Subject: Request for Action 554 Wianno Ave
Attachments: Request for Action 554 Wianno response (1).doc; M.G.L. 143 6-12.docx; 554 Wianno A.jpg; 554 Wianno B.jpg; 554 Wianno C.jpg

Hi Kate,

As you are aware Erin had sent the Building Division a Request for Action from the Barnstable Historical Commission for 554 Wianno Ave. I am attaching our response to this request to this email along with some supporting documentation. If you could share with the Commission it would be greatly appreciated. Brian and I would also make ourselves available for the Commission's next scheduled meeting if they would like to discuss further and answer any questions they might have.

Regards,

Jeff Carter
Deputy Director of Inspectional Services
Town of Barnstable
200 Main Street
Hyannis, MA 02601
508 862-4035



Town of Barnstable

Building Department

Brian Florence, CBO
Building Commissioner
200 Main Street, Hyannis, MA 02601
www.town.barnstable.ma.us



Office: 508-862-4038

Fax: 508-790-6230

8/3/2021

Nancy Clark, Chair
367 Main Street
Hyannis, MA 02601

RE: Request for Action - 554 Wianno Avenue, Osterville, Map 162, Parcel 013

Madame Chair and Barnstable Historic Commission Members,

At the July 20, 2021 Barnstable Historic Commission meeting members voted to forward a Request for Action for single family structure located at 554 Wianno Avenue, Osterville. This Request for Action was entered into the Building Division complaint database and assigned to me for a property review. Below is a statement of my findings:

A site visit and evaluation of the single-family structure was performed on the afternoon of 7/28. The uninhabited structure was fully secured with no open doors or windows, the structure remains tight to the weather and the structure shows no signs of having any structural deficiencies. Two notes were added to the compliant and will be followed up with in a communication with the property owners: 1) Roof is showing signs of aging and should be replaced in the near future to prevent future structural deficiencies and 2) a hole in the ceiling under a shed roof on the south side of the structure. This could be a sign of water infiltration and should be evaluated by homeowners and repairs made if necessary.

Disuse of a structure in and of itself does not constitute demolition by neglect. When we evaluate structures for demolition by neglect we have to rely upon a standard for which to make a determination. To that end we use Massachusetts General Law c. 143.

After a careful evaluation of the site and based upon the facts I find that there are no appropriate enforcement actions available to the Building Division at this time pursuant to M.G.L. c. 143, §§ 6 through 12. The appropriate action in this case is communication and education. Communication will be made with the property owner to educate and inform them of the submitted Request for Action, our findings and what enforcement action could be taken in the future if preventative measures are not taken to prevent further deterioration of the structure.

We consider this matter closed at this time.

Respectfully,

Jeff Carter
Deputy Director of Inspectional Services

Section 6: Local inspector; duties

Section 6. The local inspector, immediately upon being informed by report or otherwise that a building or other structure or anything attached thereto or connected therewith in that city or town is dangerous to life or limb or that any building in that city or town is unused, uninhabited or abandoned, and open to the weather, shall inspect the same; and he shall forthwith in writing notify the owner, lessee or mortgagee in possession to remove it or make it safe if it appears to him to be dangerous, or to make it secure if it is unused, uninhabited or abandoned and open to the weather. If it appears that such structure would be especially unsafe in case of fire, it shall be deemed dangerous within the meaning hereof, and the local inspector may affix in a conspicuous place upon its exterior walls a notice of its dangerous condition, which shall not be removed or defaced without authority from him. Upon such notice under either of the preceding sentences, the owner, lessee or mortgagee in possession shall furnish a floor plan of such building or other structure to the chiefs of the fire and police departments of the city or town.

Section 7: Removal or making structure safe; putting up fence

Section 7. Any person so notified shall be allowed until twelve o'clock noon of the day following the service of the notice in which to begin to remove such structure or make it safe, or to make it secure, and he shall employ sufficient labor speedily to make it safe or remove it or to make it secure; but if the public safety so requires and if the aldermen or selectmen so order, the inspector of buildings may immediately enter upon the premises with the necessary workmen and assistants and cause such unsafe structure to be made safe or taken down without delay, and a proper fence put up for the protection of passers-by, or to be made secure. If such a building or structure is taken down or removed, the lot shall be levelled to uniform grade by a proper sanitary fill to cover any cellar or foundation hole and any rubble not removed.

Section 8: Failure to remove or make structure safe; survey board; survey; report

Section 8. If an owner, lessee or mortgagee in possession of such unsafe structure refuses or neglects to comply with the requirements of such notice within the time limited, and such structure is not made safe or taken down as therein ordered, or made secure, a careful survey of the premises shall be made by a board consisting in a city of the city engineer, the head of the fire department, as such term is defined in section one of chapter one hundred and forty-eight, and one disinterested person to be appointed by the local inspector, and in a town of a surveyor, the head of the fire department and one disinterested person to be appointed by the local inspector. If there is no city engineer in such city or no head of the fire department in such city or town, the mayor or selectmen shall designate one or more officers or other suitable persons in place of the officers so named as members of said board. A written report of such survey shall be made, and a copy thereof served on such owner, lessee or mortgagee in possession.

Section 9: Dangerous or abandoned structures removed or made safe by local inspector; costs; penalty; use of structure

Section 9. If such report declares such structure to be dangerous or to be unused, uninhabited or abandoned, and open to the weather, and if the owner, lessee or mortgagee in possession continues such refusal or neglect, the local inspector shall cause it to be made safe or taken down or to be made secure, and, if the public safety so requires, said local inspector may at once enter the structure, the land on which it stands or the abutting land or buildings, with such assistance as he may require, and secure or remove the same, and may remove and evict, under the pertinent provisions of chapter two hundred thirty-nine or otherwise, any tenant or occupant thereof, and may erect such protection for the public by proper fence or otherwise as may be necessary, and for this purpose may close a public highway. In the case of such demolition, the local inspector shall cause such lot to be levelled to uniform grade by a proper sanitary fill. The costs and charges incurred shall constitute a debt due the city or town upon completion of the work and the rendering of an account therefor to the owner of such structure, and shall be enforced in an action of contract, and such owner, lessee or mortgagee in possession shall, for every day's continuance of such refusal or neglect after being so notified, be punished by a fine of not less than one hundred dollars. The provisions of the second paragraph of section three A of chapter one hundred and thirty-nine, relative to liens for such debt and the collection of claims for such debt, shall apply to any debt referred to in this section, except that the local inspector shall act hereunder in place of the mayor or board of selectmen. During the time such order is in effect it shall be unlawful to use or occupy such structure or any portion thereof for any purpose.

Section 9A: Taking or injuring other property in removing dangerous structures or making them safe

Section 9A. If, by any act done by an officer of a city or town for the purpose of making safe or taking down any dangerous structure, any real estate other than such structure or the parcel of land upon which it stands is taken, used or injured, any person owning an interest in such real estate and not having an interest in such dangerous structure may recover damages for such taking, use or injury from such city or town in a petition for the assessment thereof under chapter seventy-nine filed in the superior court for the county in which such real estate is situated within one year after such taking, use or injury; provided, that if such taking, use or injury occurred not more than three years prior to the effective date of this section, said petition may be filed not more than one year after said effective date.

Section 10: Remedy of person ordered to remove a dangerous structure or make it safe

Section 10. An owner, lessee or mortgagee in possession aggrieved by such order may have the remedy prescribed by section two of chapter one hundred and thirty-nine; provided, that no provision of said section two shall be construed so as to hinder, delay or prevent the local inspector acting and proceeding under section nine; and provided, further, that this section shall not prevent the city or town from recovering the forfeiture provided in said section nine from the date of the service of the original notice, unless the order is annulled by the jury.

Section 11: Service of notice on non-resident; certificate

Section 11. If an owner, lessee or mortgagee in possession lives out of the commonwealth, the notice required by section six may be served upon him by a notary public, whose certificate of service under his notarial seal shall be sufficient evidence thereof.

Section 12: Restraint of construction, repair, or use of a structure; order for removal

Section 12. The supreme judicial or superior court may restrain the construction, alteration, repair, maintenance or use of a building or structure in violation of any ordinance or by-law of a city or town or of the state building code and order its removal or abatement as a nuisance; and may restrain the further construction, alteration or repair, maintenance, use or occupancy of a building or structure reported to be dangerous, under a survey authorized by section eight, until the determination of the matter, as provided in section ten.





